



# Board of Adjustment Staff Report

Meeting Date: February 6, 2020

Agenda Item: 9B

SPECIAL USE PERMIT CASE NUMBER:

WSUP19-0023 (DDC Enterprises)

BRIEF SUMMARY OF REQUEST:

To approve a special use permit for operable vehicle storage, and construction sales and services within the general commercial regulatory zone.

STAFF PLANNER:

Chris Bronczyk

775.328.3612

[cbronczyk@washoecounty.us](mailto:cbronczyk@washoecounty.us)

Dan Cahalane

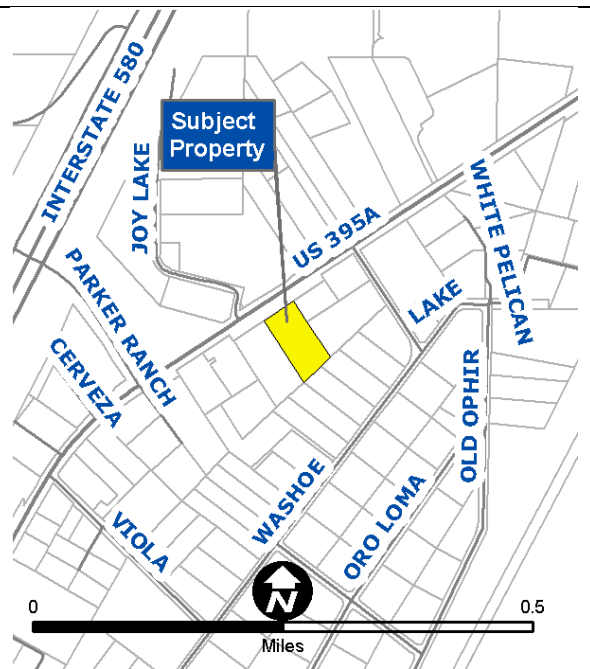
775.328.3628

[dcahalane@washoecounty.us](mailto:dcahalane@washoecounty.us)

## CASE DESCRIPTION

For possible action, hearing, and discussion to approve a construction sales and services use type and to allow for Operable Vehicle Storage within the General Commercial Regulatory Zone in Washoe Valley. The application also seeks to approve 1.6 acres (69,696 sq. ft) of previously completed grading. The project location is found within the Old Washoe City Historic District (OWCHD) in the South Valleys Area Plan. The OWCHD has its own allowed uses, both construction sales and services, and storage of operable vehicles require a special use permit.

Applicant / Property Owner:	DDC Enterprises
Location:	470 Old US Highway 395
APN:	050-234-62
Parcel Size:	1.6 Acres
Master Plan:	Commercial (C)
Regulatory Zone:	General Commercial (GC)
Area Plan:	South Valleys
Citizen Advisory Board:	South Truckee Meadows/Washoe Valley
Development Code:	Authorized in Article 810
Commission District:	2 – Commissioner Lucey



## STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

## POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment with conditions Special Use Permit Case Number WSUP19-0023 for DDC Enterprises, having made all five findings in accordance with Washoe County Code Section 110.810.30:

*(Motion with Findings on Page 12)*

**Staff Report Contents**

Special Use Permit.....3

Project Evaluation .....6

South Valleys Area Plan.....9

South Truckee Meadows/Washoe Valley Citizen Advisory Board (STMWVCAB)..... 10

Reviewing Agencies ..... 10

Recommendation ..... 11

Motion ..... 12

Appeal Process ..... 12

---

**Exhibits Contents**

Conditions of Approval ..... Exhibit A

Citizen Advisory Board Minutes..... Exhibit B

Applicant CAB Response ..... Exhibit C

Engineering and Capitol Projects Letter ..... Exhibit D

Water Letter ..... Exhibit E

Health District Letter..... Exhibit F

Washoe-Storey Conservation District Letter ..... Exhibit G

Project Application..... Exhibit H

**Special Use Permit**

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP19-0023 are attached to this staff report and will be included with the action order, if approved.

The subject property is designated as General Commercial (GC). The proposed use of construction sales and services and operable vehicle storage are classified as commercial use types which are permitted in General Commercial with the approval of a special use permit, per the South Valleys Area Plan, therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.









*Figure 1: Shows typical sign size and finish*

### **Signage Plan**

#### **Project Evaluation**

Curtis and Sons Construction is a construction sales and services company based out of Gardnerville, Nevada. The proposed special use permit is to allow for them to expand operations within Washoe County and to permit the uses of construction sales and service and operable vehicle storage within the General Commercial regulatory zone found in the Old Washoe City Historical District CMA.

The applicant is requesting to operate at 470 Old US Highway 395. The 1.6-acre parcel is currently vacant but had been previously graded, illegally, by the applicant. In addition to the two proposed uses, the request is also to legalize the previous illegal grading.

WCC Chapter 110, Article 304, *Use Classification System*, defines the construction sales and services commercial use type as establishments or places of business primarily engaged in construction activities and incidental storage, as well as the retail or wholesale sale from the premises, of material used in the construction of buildings or other structures.

Additionally, Article 304 defines the Storage of Operable Vehicles commercial use type as the storage of operable vehicles, recreational vehicles, and boat trailers.

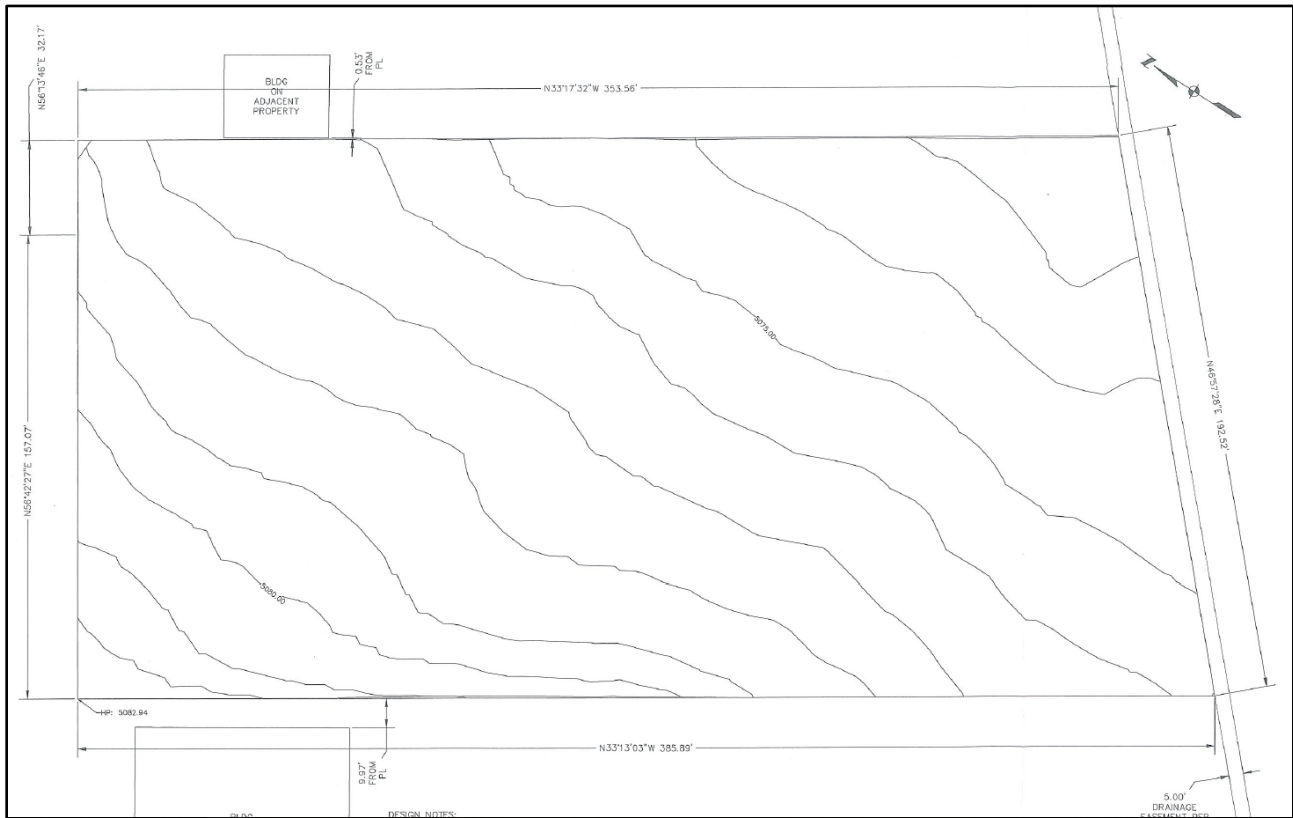
The application is proposing to construct an office with attached garage and shop, as well as equipment and vehicle storage. The attached shop is intended for storage of supplies and tools, not for receiving goods. The application lists out necessary equipment needed for services, the equipment listed are backhoe, mini excavator, flatbed trailer, dump trailer, and dump truck.

The project application anticipates 12 to 15 weekday peak hour trips on average. Signs are being proposed as part of the project; the proposed dimensions are 3 feet wide by 2 feet high. No illumination for the sign is proposed.

**Grading**

The lot was previously graded in 2018 in order to flatten out the parcel and construct V-Ditches just inside the east and west property lines for drainage which includes 6:1 maximum side slopes. The original slope of the property was approximately 3%. This grading disturbed 1.6 acres of the property. The applicant has proposed additional grading to the application in order to trench wet and dry utilities. The total amount of grading for this property is estimated to be 1,138cy (cubic yards) of cut, 1,511cy of fill, and 13cy of import.

Per WCC 110.438.35, a major grading permit is required on slopes less than 15% if grading of more than 1 acre in size occurs, or the excavation of 5000cy of cut or fill occurs. The proposed grading plan meets the threshold of disturbing 1 acre in size. All cuts and fills included on the grading plan are less than 3:1 slope. Much of the development will be stabilized with building foundation, concrete/asphalt pavement, and landscaping.



**Grading Plan (Natural Grade)**



## **South Valleys Area Plan**

The South Valleys Area Plan addresses special use permit requirements and development standards. The following Goals and Policies are relevant to the proposed application.

**SV.2.3** - Site development plans in the South Valleys planning area must submit a plan for the control of noxious weeds. The plan should be developed through consultation with the Washoe County District Health Department, the University of Nevada Cooperative Extension, and/or the Washoe-Storey Conservation District. The control plan will be implemented on a voluntary compliance basis.

Staff Comment: As part of the conditions of approval, the applicant will be required to meet policy SV.2.3.

**SV.2.4** - Applicants required to present their items to the Citizen Advisory Board (CAB) must submit a statement to staff regarding how the final proposal responds to the community input received from the CAB.

Staff Comment: The applicant presented to the CAB on January 2, 2020 and has provided a statement to staff on how the final proposal responds to community input. (Exhibit C)

**SV.2.7** - Any lighting proposed must show how it is consistent with current Best Management Practices "dark-sky" standards. In subdivisions established after the date of final adoption of this Plan, the use of streetlights will be minimized.

Staff Comment: The applicant provided written statement related to lighting. Parking lot lighting will consist of two (2) high-pressure sodium vapor luminaries. The application indicates that all lighting will be dark sky compliant per the South Valleys Master Plan. The proposed luminaries will be wall-mounted and are expected to provide an average illumination level of 3.46 foot-candles throughout the parking lot.

**SV.2.16** - The approval of all special use permits and administrative permits must include a finding that the community character as described in the Character Statement can be adequately conserved through mitigation of any identified potential negative impacts.

Staff Comment: The proposed use types of Operable Vehicle Storage and Construction Sales are allowed within the Old Washoe City special character area with a special use permit. This uses would provide an array of services to support the Washoe Valley community.

**SV.8.2** - In order to reflect the community character described in the character statement, the land uses available in the regulatory zones established in the Old Washoe City Historic District differ from those in the same regulatory zones in the Development Code. Appendix A, Table 2: Allowable Land Uses in the Old Washoe City Historic District lists the land uses available under each land use designation in this district.

Staff Comment: The project location is within the Old Washoe City District. Appendix A, Table 2 in the South Valleys Area Plan allows the storage of operable vehicles and construction sales and services commercial use types within the General Commercial (GC) regulatory zone, subject to a special use permit approved by the Board of Adjustment.

**SV.18.3** - The granting of special use permits in the South Valleys must be accompanied by a finding that no significant degradation of air quality will occur as a result of the permit. As necessary, conditions may be placed on special use permits to ensure no significant degradation of air quality will occur. The Department of Community Development will seek the advice and input of the Air Quality Division of the Department of Health in the implementation of this policy.

Staff Comment: The project was sent to the Air Quality Division 1 for review. Staff did not receive any comments indicating that there would be significant degradation of air quality.



### **South Truckee Meadows/Washoe Valley Citizen Advisory Board (STMWVCAB)**

The proposed project was presented by the applicant at the regularly scheduled Citizen Advisory Board meeting on January 2, 2020. The attached CAB minutes (Exhibit B) reflect discussion on the following items:

- *Does the proposed landscaping fit the context?*
- *What are the anticipated hours of operation? Start and end times?*
- *What is the anticipated traffic to and from the site?* The applicant has provided staff with a memo (Exhibit C) in response to the comments brought up at the Citizen Advisory Board meeting.

The proposed project was approved unanimously by the South Truckee Meadows/Washoe Valley Citizen Advisory Board.

### **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Planning and Building Division
  - Engineering and Capital Projects Division
  - Utilities/Water Rights
  - Parks and Open Spaces
- Washoe County Health District
  - Air Quality
  - Environmental Health Services Division
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Washoe-Storey Conservation District
- Nevada Department of Transportation
- Nevada Department of Wildlife
- Nevada Division of Environmental Protection
- Nevada Division of Water Resource

Five out of the thirteen above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order

- Washoe County Planning and Building Division addressed operational requirements in effect for the life of the project.  
**Contact: Chris Bronczyk, 775.328.3612, [cbronczyk@washoecounty.us](mailto:cbronczyk@washoecounty.us); Dan Cahalane, 775.328.3628, [dcahalane@washoecounty.us](mailto:dcahalane@washoecounty.us)**
- Washoe County Water Rights provided conditions related to water rights or a will serve letter necessary to support the proposed facility.  
**Contact: Vahid Behmaram, 775.954.4647, [vbehmaram@washoecounty.us](mailto:vbehmaram@washoecounty.us)**
- Washoe County Engineering and Capitol Projects Division addressed construction and grading bonds, and drainage code requirements.

**Contact: Leo Vesely, 775.328.2313, lvesely@washoecounty.us**

- Washoe County Health District addressed septic requirements.

**Contact: Wesley Rubio, 775.328.2434, wrubio@washoecounty.us**

- Washoe-Storey Conservation District addressed lighting standards, landscaping, and drainage.

**Contact: Jim Shaffer, shafferjam51@gmail.com**

### **Staff Comment on Required Findings**

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan.

Staff Comment: The proposal is consistent with the Master Plan and the South Valleys Area Plan. This consistency includes complying with Policy SV 8.2, which regulates certain use types to certain districts. The proposed construction services and sales, and operable vehicle storage commercial use types are permitted, subject to the approval of a special use permit, in the General Commercial regulatory zone within the Old Washoe City Historic District.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: Adequate utilities will need to be provided by the applicant to serve the proposed development. The application indicates septic will be utilized for the proposed development. Water service will be provided by TMWA.

3. Site Suitability. That the site is physically suitable for a Construction Sales and Services and Storage of Operational Vehicles use type, and for the intensity of such a development.

Staff Comment: The South Valleys Area Plan's Development Suitability Map identifies the subject parcel as unconstrained.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: As proposed and with the conditions of approval, the proposed uses are expected to create minimal impacts and not cause significant detriment or injury to the public, adjacent properties, or surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: No military installations are located within the required noticing distance; therefore, this finding does not apply to this project.

### **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Special Use Permit Case Number WSUP19-0023 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration

**Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment with conditions Special Use Permit Case Number WSUP19-0023 for DDC Enterprises, having made all five findings in accordance with Washoe County Code Section 110.810.30.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a Construction Sales and Services and Storage of Operational Vehicles use type, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

**Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: DDC Enterprises LLC  
P.O. Box 2911  
89423





# Conditions of Approval

Special Use Permit Case Number WSUP19-0023

The project approved under Special Use Permit Case Number WSUP19-0023 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on February 6, 2020. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

**Unless otherwise specified**, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

## **Washoe County Planning and Building Division**

- a. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

**Contact Name – Chris Bronczyk; 775.328.3612; [cbronczyk@washoecounty.us](mailto:cbronczyk@washoecounty.us)**

- a. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. All landscaping shall be maintained in accordance with the provisions found in Washoe County Code Section 110.412.75, *Maintenance*. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to Planning and Building, prior to any Certificate of Occupancy or issuance of any business license. The plan shall be wet-stamped.
- e. All lighting shall comply with WCC Chapter 110, Article 414, including, but not limited to no spillover beyond the property boundaries and down shielded/cut-off fixtures for all proposed lighting.
- f. A wall or fence shall be constructed between the approved commercial use and the adjacent residential uses, and shall be constructed of long-lasting materials such as chain-link fencing with privacy slats that achieve at least 75% visual screening. Wood fencing is not acceptable.
- g. Parking shall comply with WCC Chapter 110, Article 510, *Parking and Loading*.
- h. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- i. The following **Operational Conditions** shall be required for the life of the development.
  - i. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by Planning and Building.
  - ii. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.

**Washoe County Engineering and Capital Projects**

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Leo Vesely, 775.328.2041, [lvesely@washoecounty.us](mailto:lvesely@washoecounty.us)**

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading,

site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

- b. The applicant shall obtain a Stormwater Discharge Permit from the Nevada Division of Environmental Protection and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The applicant shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to approval of a grading permit.
- d. All grading shall be in accordance with Article 110.438 Grading Standards.
- e. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
- f. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer.

**TRAFFIC AND ROADWAY (COUNTY CODE 110.436)**

**Contact Name – Mitch Fink, (775) 328-2050, [mfink@washoecounty.us](mailto:mfink@washoecounty.us)**

- g. Regional Road Impact Fees (RRIF) will be accessed for the proposed structure.
- h. The applicant shall obtain Encroachment Permit(s) for any work within the NDOT right-of-way, if required, and provide Washoe County Engineering Division a copy of the Permit(s).

**Washoe County Health District**

- 3. The following conditions are requirements of the Washoe County Health District (WCHD), Environmental Health Services Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – James English, 775.328.2610, [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us)**

- a. The applicant must submit a Water Project pursuant to NAC 445A with regards to the service connection to the water system, prior to the construction permit plan submittal.
- b. Applicant must provide WCHD with an approved commercial septic system design from the Nevada Division of Environmental Protection (NDEP) with the submittal of construction plans. The system must be installed and approved by NDEP prior to issuance of building certificate to occupy.

\*\*\* End of Conditions \*\*\*



## South Truckee Meadows/Washoe Valley Citizen Advisory Board

**DRAFT:** Approval of these draft minutes, or any changes to the draft minutes, will be reflected in writing in the next meeting minutes and/or in the minutes of any future meeting where changes to these minutes are approved by the CAB. Minutes of the regular meeting of the South Truckee Meadows/Washoe Valley Citizen Advisory Board held January 2, 2020 6:00 p.m. the South Valleys Library at 15650A Wedge Parkway, Reno, Nevada.

**1. \*CALL TO ORDER/ DETERMINATION OF QUORUM** - Meeting was called to order at by Tom Burkhart at 6:00 p.m.

**Member:** Wesley Mewes Tom Burkhart, David Snelgrove. A quorum was determined.

**Absent:** Patricia Phillips, Marge Frandsen, Kimberly Rossiter, Shaun O’Harra (not excused)

**2. \*PLEDGE OF ALLEGIANCE** - The Pledge of Allegiance was recited.

**3. \*GENERAL PUBLIC COMMENT AND DISCUSSION THEREOF-** There were no requests for public comment.

**4. Approval of Agenda for the Meeting of January 2, 2020** - Dave Snelgrove moved to approve the agenda of January 2, 2020. Wes Mewes seconded the motion to approve the agenda. The motion carried unanimously.

**5. Approval of the Minutes for the Meetings of November 7, 2019** – Dave Snelgrove made a correction on page 3, in the motion, second line...it should state 'but it hasn't been a situation *treated* with the greatest sensitivity.' Dave Snelgrove moved to approve the minutes for the meeting of November 7, 2019 with correction. Wes Mewes seconded the motion to approve the minutes as corrected. The motion carried unanimously.

**6. DEVELOPMENT PROJECTS**– The project description is provided below.

**6.A. Special Use Permit Case Number WSUP19-0023 (DDC Enterprises)** – Request for community feedback, discussion and possible action to forward community and Citizen Advisory Board comments to Washoe County staff on a request for a construction sales and services use type and to allow for Operable Vehicle Storage within the General Commercial Regulatory Zone in Washoe Valley. The application also seeks to approve 1.6 acres (69,696 sq. ft) of previously completed grading. The project location is found within the Old Washoe City Historic District (OWCHD) in the South Valleys Area Plan. The OWCHD has its own Allowed Uses, both Construction Sales and Services, and Storage of Operable Vehicles require a Special Use Permit. (for Possible Action)

- Applicant\Property Owner: DDC Enterprises
- Location: 470 Old US Highway 305
- Assessor’s Parcel Number: 050-234-62
- Staff: Chris Bronczyk, Planner, cbronczyk@washoecounty.us ; 775-328-3612; Dan Cahalane, Planner, dcahalane@washoecounty.us
- Reviewing Body: Tentatively scheduled for the Board of Adjustment on February 6, 2020

David Curtis, representative, stated they are using a satellite yard to build a shop to store materials. He noted their main office is in Gardnerville. He said they work for telecom companies. He stated the storage would be used to store conduit, and a yard for trailers and equipment. He said it's not a major operation as this will store extra equipment instead of having to go down to Gardnerville to get equipment.

Dave Snelgrove asked about the back part of the lot. David Curtis said they will put some trees along the back to provide screening from the neighbors. He added they will add gravel to help with dust. Dave Snelgrove said the use fits with the other uses in the area with the zoning.

Tom Burkhart asked if they had issues with any neighbors. David Curtis said he has had no issues with neighbors. Wes asked about operating hours. David explained the hours.

**MOTION:** Dave Snelgrove recommended to forward Citizen Advisory Board comments to Washoe County staff and recommended approval of Special Use Permit Case Number WSUP19-0023 (DDC Enterprises). Wes Mewes seconded the motion to recommend approval. The motion carried unanimously.

**7. \*CHAIRMAN/BOARD MEMBER ITEMS** – There were no items discussed.

**8. \* GENERAL PUBLIC COMMENT AND DISCUSSION THEREOF** – Limited to no more than three (3) minutes. Anyone may speak pertaining to any matter either on or off the agenda. The public are requested to submit a Request to Speak form to the Board Chairman. Comments are to be addressed to the Board as a whole.

There were no requests for public comment.

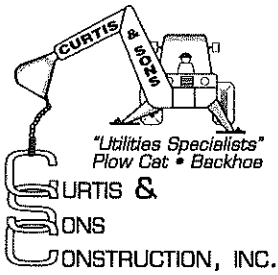
**ADJOURNMENT**– the meeting adjourned 6:07 p.m.

Cab members present: 3

Staff present: 1

Public members present: 3

Elected officials present:0



(775) 782-2728  
(775) 782-8439 Fax  
NV License # 0036247  
CA License # 751460  
P.O. Box 2911  
Minden, NV 89423

**Washoe County Citizens Advisory Board Meeting 01/02/20 6:00 P.M.**

**Attention: Dan Cahalane**

**CAB meeting comments/concerns**

**Does the proposed landscaping fit the context?**

Per landscaping plan (exhibit D), there will be Austrian Pines planted across the back and the front to create a barrier from the neighbors & the street. The board also approved 1 ½" gravel in the back to prevent erosion & dust.

**What are the hours of operation?**

Hours of operation will be from 7:00 a.m. to 5:00 p.m.

**What is the anticipated traffic to and from site?**

There will be 3 to 4 work trucks coming in & out in the morning & afternoon.

Curtis & Sons Construction Inc.

David Curtis, President



# WASHOE COUNTY

## COMMUNITY SERVICES DEPARTMENT

### Engineering and Capital Projects

1001 EAST 9<sup>TH</sup> STREET  
RENO, NEVADA 89512  
PHONE (775) 328-3600  
FAX (775) 328.3699

Date: January 3, 2020

To: Chris Bronczyk, Planner  
Dan Cahalane, Planner

From: Leo Vesely, P.E., Licensed Engineer

Re: Special Use Permit Case **WSUP19-0023 – DDC Enterprises**  
APN 050-234-62

### GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is to approve a construction sales and services use type within the General Commercial Regulatory Zone. The Engineering Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Curtis & Sons Construction Inc. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

### GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2041

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. The applicant shall obtain a Stormwater Discharge Permit from the Nevada Division of Environmental Protection and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The applicant shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to approval of a grading permit.
4. All grading shall be in accordance with Article 110.438 Grading Standards.
5. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
6. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer.



INTEGRITY



EFFECTIVE  
COMMUNICATION



QUALITY  
PUBLIC SERVICE

Subject: **WSUP19-0023 – DDC Enterprises**  
Date: January 3, 2020  
Page: 2

**TRAFFIC AND ROADWAY (COUNTY CODE 110.436)**

Contact Information: Mitch Fink, (775) 328-2050

1. Regional Road Impact Fees (RRIF) will be accessed for the proposed structure.
2. The applicant shall obtain Encroachment Permit(s) for any work within the NDOT right-of-way, if required, and provide Washoe County Engineering Division a copy of the Permit(s).

**UTILITIES (County Code 422 & Sewer Ordinance)**

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. No comments.





**WASHOE COUNTY**  
**COMMUNITY SERVICES**  
**INTEGRITY COMMUNICATION SERVICE**

P.O. Box 11130  
Reno, Nevada 89520-0027  
Phone: (775) 328-3600  
Fax: (775) 328-3699

December 24, 2019

TO: Chris Bronczyk, Planner, CSD, Planning & Development Division  
Dan Cahalane, Planner, CSD, Planning & Development Division

FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD

SUBJECT: Special Use Permit Case Number WSUP19-0023 (DDC Enterprises) 2<sup>nd</sup>

**Project description:**

The applicant is proposing to approve a construction sales and services use type and to allow for Operable Vehicle Storage within the General Commercial Regulatory Zone in Washoe Valley. The application also seeks to approve 1.6 acres (69,696 sq. ft) of previously completed grading. The project location is found within the Old Washoe City Historic District (OWCHD) in the South Valleys Area Plan. The OWCHD has its own Allowed Uses, both Construction Sales and Services, and Storage of Operable Vehicles require a Special Use Permit.  
Project location: 470 Old US Highway 395, Assessor's Parcel Number: 050-234-62.

*The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:*

There are no conditions of approval for the WSUP 19-0023.

Formal annexation into TMWA water service area and a will serve letter from TMWA for provision of water service will be required prior to approval of any building permits on this site.

**WASHOE COUNTY  
HEALTH DISTRICT**  
ENHANCING QUALITY OF LIFE

December 26, 2019

Washoe County Community Services  
Planning and Development Division  
PO Box 11130  
Reno, NV 89520-0027

RE: DDC Enterprises; 050-234-62  
Special Use Permit; WSUP19-0023

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division, (WCHD) which shall be responsible for determining compliance with these conditions.

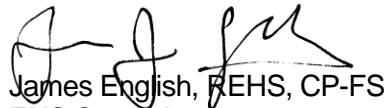
**Contact Name – James English - [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us)**

- a) Condition #1: The applicant must submit a Water Project pursuant to NAC 445A with regards to the service connection to the water system, prior to the construction permit plan submittal.
- b) Condition #2: Applicant must provide WCHD with an approved commercial septic system design from the Nevada Division of Environmental Protection (NDEP) with the submittal of construction plans. The system must be installed and approved by NDEP prior to issuance of building certificate to occupy.

These conditions have not changed since the previous review letter dated October 30, 2019.

If you have any questions or would like clarification regarding the foregoing, please contact Jim English at [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us) regarding all Health District comments.

Sincerely,

  
James English, REHS, CP-FS  
EHS Supervisor  
Environmental Health  
Washoe County Health District



1365 Corporate Blvd.  
Reno NV 89502  
775 857-8500 ext. 131  
nevadaconservation.com

## Washoe-Storey Conservation District

Bret Tyler Chairmen  
Jim Shaffer Treasurer  
Cathy Canfield Storey app  
Jean Herman Washoe app

January 6, 2020

Washoe County Community Services Department

C/O Chris Bronczyk, Dan Cahalane, Planners

1001 E Ninth Street, Bldg A

Reno, NV 89512

R: WSUP19-0023 DDC Enterprises

Dear Chris and Dan,

In reviewing DDC Enterprises, the Conservation District has the following comments.

We request that the lighting plan reflect dark skies guidelines.

With conifer trees planted for the site that they are monitored for a 4 year period and if replacement is needed they shall be the same size as the initial planting.

In the construction of the 10 foot V ditches 4-6 inch rock placed in the flow line to reduce the negative impacts of sedimentation downstream.

With the operation being clean and orderly as stated in the document, we request that all tires stored in the rear of the building and under cover to prevent the accumulation of standing water in the tires.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Tyler-Shaffer



P.O. Box 2911  
Minden, NV 89423  
(775) 782-2728 Phone  
(775) 782-8439 Fax  
NV License# 0036247  
CA License# 751460  
UT License# 7487435-555

---

Washoe County Department of Community Services, Planning and Development  
1001 E. Ninth Street  
Reno, NV 89520

December 6, 2019

RE: Special Use Permit Application for Grading

Dear Washoe County Planning Department,

Enclosed please find an original and five copies along with a jump drive of the special use permit application and all exhibits for the development of our parcel located at 470 Old US Highway 395 in Washoe Valley, Nevada. The intent of this special use permit is to allow for the Construction Sales and Services use type and operable vehicle storage within the General Commercial (GC) regulatory zone. This is located within the Old Washoe City Historic Commercial District Character Management Area.

Our property is 1.6 acres (69,696 square feet) and our development was designed to closely match the nearby developments. The intent of this development is to provide Curtis & Sons Construction Inc. with additional equipment and material storage.

We purchased this lot last year and we completed grading to accommodate parking. As such, the development is limited to the construction of our building, installation of the required utilities, and installation of concrete parking spaces and associated lot lighting. This project does not include anything out of the ordinary for the surrounding area. We understand that a Special Use Permit for this project is required. We have worked to include all the required submittals in this package. Where the requirements are not applicable, we have status as such.

Our team is ready to begin construction and would like to get underway as quickly as possible to avoid the heavy winter. Please let me know if you have any questions. You can reach me at my office number which is 775-782-2728, or on my cellular which is 775-721-0701.

Best,

David Curtis  
President, Curtis and Sons Construction Inc.

## TABLE OF CONTENTS

---

### **APPLICATION DOCUMENTS**

Washoe County Development Code - Special Use Permit Application

Owner Affidavit

Proof of Property Tax Payment

Washoe County Special Use Permit Application Materials & Supplemental Information

### **SITE PHOTOS**

Photo 1: Google Image showing parcel location and surrounding area

Photo 2: Curtis and Sons Parcel, Looking Southeast

Photo 3: Development directly Northeast, Adjoining the Curtis & Sons Parcel

Photo 4: Development directly Southwest, Adjoining the Curtis and Sons Parcel

Photo 5: Development directly North, across Old Highway 395 from the Parcel

Photo 6: Undeveloped land located South of the proposed development

Photo 7: Google Image showing vicinity of parcel location

### **EXHIBITS**

Exhibit A: Proposed Site Plan

Exhibit B: Topography

Exhibit C: Flood Boundary

Exhibit D: Landscaping Plan

Exhibit E: Signage Plan

Exhibit F: Lighting Plan

Exhibit G: Building Elevations

Exhibit H: Grading Plan



Community Services Department

Planning and Building

**SPECIAL USE PERMIT**

(see page 7)

**SPECIAL USE PERMIT FOR GRADING**

(see page 9)

**SPECIAL USE PERMIT FOR STABLES**

(see page 12)

**APPLICATION**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845

Telephone: 775.328.6100

## Special Use Permits

Washoe County Code (WCC) Chapter 110, Article 810, Special Use Permit, provides a method of reviewing proposed uses as listed in Article 302, Allowed Uses, which possess characteristics that require special appraisal in order to determine if the uses have the potential to adversely affect other land uses, transportation systems, or public facilities in the vicinity. The Planning Commission, Board of Adjustment, or Hearing Examiner may require conditions of approval necessary to eliminate or minimize, to an acceptable level, any potentially adverse effects of the use. See WCC 110.810, for further information.

### Development Application Submittal Requirements

Applications are accepted on the 15<sup>th</sup> of each month (if the 15<sup>th</sup> is a non-work day, the first working day after the 15<sup>th</sup>)

1. **Fees:** See Master Fee Schedule. **Bring payment with your application to Community Service Department (CSD). Make check payable to Washoe County.**
2. **Development Application:** A completed Washoe County Development Application form.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Special Use Permit Application materials.
6. **Proposed Site Plan Specifications (Special Use Permit and Stables):**
  - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
  - b. Show the location and configuration of all existing and proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with existing and proposed topography expressed in intervals of no more than five (5) feet.
  - c. Show the location and configuration of wells and well houses, septic systems and leach fields, overhead utilities, water and sewer lines, and all existing and proposed easements.
  - d. Show locations of parking, landscaping, signage and lighting.
  - e. The cross sections of all rights-of-way, streets, alleys or private access ways within the proposed development, proposed name and approximate grade of each, and approximate radius of all curves and diameter of each cul-de-sac.
  - f. Property boundary lines, distances and bearings.
  - g. Contours at five (5) foot intervals or two (2) foot intervals where, in the opinion of the County Engineer, topography is a major factor in the development.
  - h. Indication of prominent landmarks, rock outcroppings, and natural foliage which will be deciding considerations in the design of the development.
  - i. If any portion of the land within the boundary of the development is subject to inundation or storm water overflow, as shown on the adopted Federal Emergency Management Agency's Flood Boundary and Floodway Maps, that fact and the land so affected shall be clearly shown on the map by a prominent note on each sheet, as well as width and direction of flow of each water course within the boundaries of the development.
  - j. Existing and proposed roads, trails or rights-of-way within the development shall be designated on the map. Topography and existing developments within three hundred (300) feet must also be shown on the map.



- k. Vicinity map showing the proposed development in relation to Interstate 80, Highway 395, I-580, or a major arterial. The vicinity map shall also include a north arrow.
  - l. Date, scale, and number of each sheet in relation to the total number of sheets, and the name of the person preparing the plans.
  - m. Location of snow storage areas sufficient to handle snow removed from public and private street, if above 5,500 feet.
  - n. All known areas of potential hazard (and the basis for delineation) shall be clearly designated on the map. Additionally, active fault lines (post-Holocene) shall be delineated on the map.
  - o. Location of areas with slopes greater than fifteen percent (15%) and thirty percent (30%).
  - p. Boundary of any wetland areas and/or floodplains within the project site.
  - q. Note by the project engineer or design professional indicating compliance with all applicable provisions of the Washoe County Development Code.
  - r. Significant Hydrological Resources. Indicate the critical and sensitive buffer zones according to Article 418 of the Washoe County Development Code.
7. **Site Plan Specifications for Grading:**
- a. Location and limits of all work to be done.
  - b. Existing contours and proposed contours.
  - c. Location of any structures on adjacent parcels that are within fifteen (15) feet of the work site's parcel boundary.
  - d. Existing draining (natural and man-made) and proposed drainage patterns.
  - e. Sufficient elevation data to show the drainage will work as proposed.
  - f. Quantities of excavation fill and disturbed surface area shall be calculated and shown on the site plan. **Areas under buildings and pavement need not be included in these calculations.**
  - g. Quantities of material proposed to be removed from the site must be shown. The proposed disposal area and the disposition of fill must be noted on the plan.
  - h. Limiting dimensions of cut and fill.
  - i. Proposed BMPs (Best Management Practices) for controlling water and wind erosion if a disturbed area is left undeveloped for more than thirty (30) days.
  - j. Cut and fill slopes setback from the property boundary.
  - k. Structure setbacks from a slope.
8. **Grading:** In accordance with the grading provisions of Washoe County Code, Article 438, if the thresholds for a grading permit are met or exceeded, the grading plans shall indicate the existing and proposed grades, slope treatments (i.e. rip rap, erosion control, etc.) and drainage channels and the direction of flow. **Cross sections must be provided at a minimum of two key locations.**
9. **Traffic Impact Report (Special Use Permit and Stables):** Traffic impact reports are required whenever the proposed development project will generate 80 or more weekday peak hour trips as determined using the latest edition Institute of Transportation Engineers (ITE) trip generation rates or other such sources as may be accepted by Washoe County Engineering. Projects with less than 200 peak hour trips may not need to perform an impact analysis for future years. Traffic consultants are encouraged to contact Washoe County Engineering and Capital Projects staff prior to preparing a traffic impact report.
10. **Landscaping:** Landscape plans may be required, for **stables**. Landscape plans may include: a soils evaluation; color and type of building material, such as fencing material; type of plant material; location of plant material and proposed maintenance schedule; size of plant material at planting and size of plant material at full maturation; type and amount of mulch material; and an irrigation plan.
- a. **Planting Plan Specifications:** The planting plan must include all necessary information to satisfy Washoe County Code Section 110.412.60, Planting Standards.



- Proposed Tree Locations. Individual trees shall be graphically depicted in the proposed locations; trees shall be identified as either evergreen or deciduous; trees shall be individually labeled or coded and cross referenced to the proposed plant species in the plant legend.
  - Proposed Plant Material. The preliminary plan must identify where, and a square footage amount for, one or all of the following items: trees, mulch (rock, DG or bark), seeded areas, etc.
  - Existing On-Site Vegetation. In the case of large strands of trees and shrubs, individual locations may be identified with a revision cloud symbol. Smaller numbers or strands of trees (six (6) inch caliper and greater) shall be identified individually. Shrub areas and other forms of vegetation such as grasses shall be identified with a revision cloud symbol.
  - Plant Legend. Legend shall include all proposed plant material, including the following: common name, botanical name, size at planting, spacing and quantity (of trees only).
  - Landscape Area Legend. A summary of proposed areas and their square footages shall include: lawn, existing and or proposed paving, existing trees to be preserved, existing trees to be removed and the amount of proposed shrubs.
- b. **Irrigation Plan Specifications:** The irrigation plan must include all necessary information to satisfy Washoe County Code Section 110.412.65, Irrigation Standards.
- Location, size, and specifications of water source(s), water mains, meter(s), valves, and the controller.
  - Temporary or permanent water irrigation systems.
  - Specifications of irrigation equipment identified by manufacturer's name and equipment identification number.
  - An approved backflow prevention device is required on all landscape irrigation systems.
11. **Signage Plan:** The signage plans shall include sign elevations and delineate location, height, style, dimensions, intensity of sign lighting and finish of any proposed signage:
12. **Lighting Plan:** Show the location and configuration of all proposed exterior lighting including a detail of the parking lot light fixtures, pole heights, security lighting, and wall mounted illumination fixtures. Parking lot areas shall be depicted showing lumen isolines demonstrating compliance with the provisions of the Washoe County Development Code.
13. **Building Elevations:** All buildings and structures including fences, walls, poles and monument signs proposed for construction within the project shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented.
14. **Packets:** Six (6) packets and a flash drive or DVD - any digital documents need to have a resolution of 300 dpi. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Each packet shall include an 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. These materials must be readable. Labeling on these reproductions should be no smaller than 8 point on the 8½ x 11" display. Four (4) of the application packets shall include large format maps; the rest of the packets shall include either 8.5" x 11" or 11" x 17" maps. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

- Notes:
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
  - (ii) Appropriate map engineering and building architectural scales are subject to the approval of Planning and Building and/or Engineering and Capital Projects.
  - (iii) All oversized maps and plans must be folded to a 9" x 12" size.
  - (iv) **Labels:** The applicant is required to submit three (3) sets of mailing labels for every tenant residing in a mobile home park that is within five hundred (500) feet of the

proposed project (or within seven hundred fifty (750) feet of the proposed project if the proposed project is a project of regional significance).

- (v) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies to clarify the potential impacts and potential conditions of development to minimize or mitigate impacts resulting from the project. **No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.**
- (vi) Please be advised that the Washoe County Director of Planning and Building or their designee, Washoe County Board of Adjustment, and/or Washoe County Planning Commission have the ability to determine an application incomplete if they cannot ascertain what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.



## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>DDC Enterprises LLC</b>			
Project Description: Curtis & Sons Construction, construction services yard of 1.6 acres, construction sales & services/ grading/ operable vehicle storage			
Project Address: 470 Old US Highway 395			
Project Area (acres or square feet): 1.6 Acres, 69,696SF			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>See attached map</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
050-234-62	1.6		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). NA			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: DDC Enterprises LLC		Name:	
Address: P.O. Box 2911		Address:	
Zip: 89423		Zip:	
Phone: 7757822728	Fax: 7757828436	Phone:	Fax:
Email: david@curtisandsons.net		Email:	
Cell: 7757210701	Other:	Cell:	Other:
Contact Person: David Curtis		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Curtis & Sons Construction Inc.		Name: Doug Curtis	
Address: Same		Address: Same	
Zip:		Zip:	
Phone:	Fax:	Phone: 775-721-0704	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Doug Curtis	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: David Curtis

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

David Curtis  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-234-62

Printed Name David Curtis

Signed David Curtis

Address P.O. Box 2911

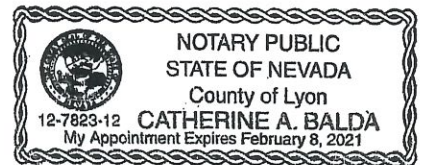
Minden NV 89423

Subscribed and sworn to before me this 10th day of October, 2019.

(Notary Stamp)

Catherine A Balda  
Notary Public in and for said county and state Lyon Co., Nevada

My commission expires: February 8, 2021



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



Property Owner Affidavit

Applicant Name: DOUG CURTIS

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, DOUG CURTIS  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-234-62

Printed Name DOUG CURTIS

Signed *Doug Curtis*

Address PO BOX 2911

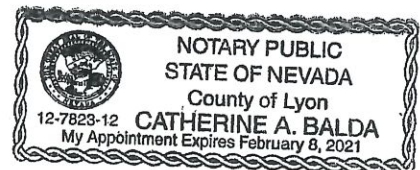
MINDEN NV 89423

Subscribed and sworn to before me this 10th day of October, 2019.

(Notary Stamp)

Catherine A Balda  
Notary Public in and for said county and state Lyon Co., Nevada

My commission expires: February 8, 2021



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

## Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Construction sales and service and operable equipment storage within the old Washoe City Historical Commercial District CMA, on 1.6 acres

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

See attached

3. What is the intended phasing schedule for the construction and completion of the project?

Start ASAP, Complete within 90 days

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Prime location for Curtis & Sons crews that are working in the Reno - Sparks areas.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Equipment on site to provide needed services, backhoe, mini ex, flat bed trailer, dump trailer, dump truck

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

We feel that there won't be any negative impacts to the adjacent properties

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Landscaping plan CSC-A-001, parking spaces provided on plot plan, picture of sign in submittal package, lighting per BMP "dark sky standards"

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	Septic
b. Electrical Service	NV Energy
c. Telephone Service	AT&T
d. LPG or Natural Gas Service	Propane
e. Solid Waste Disposal Service	NA
f. Cable Television Service	NA
g. Water Service	TMWA

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

**We will keep property clean and orderly**

10. Community Services (provided and nearest facility):

a. Fire Station	Truckee Meadows Fire Protection District station 16
b. Health Care Facility	Washoe Med
c. Elementary School	Pleasant Valley Elementary School
d. Middle School	Depoali Middle School
e. High School	Damonte Ranch
f. Parks	NA
g. Library	NA
h. Citifare Bus Stop	NA



**Special Use Permit Application  
for Grading**

**Supplemental Information**

(All required information may be separately attached)

1. What is the purpose of the grading?

For a proposed office with attached garage/shop & equipment/vehicle storage. attached shop is intended for storage of supplies and tools, not intended for receiving goods

2. How many cubic yards of material are you proposing to excavate on site?

Excavation will only be used to trench in wet & dry utilities. Spoils will be excavated & compacted back to original condition. Utilities excavated will be power, telephone, water & septic, approx.

3. How many square feet of surface of the property are you disturbing?

400 C.Y.

69,696 SF cut will equal 1,138 yds, fill will equal 1,151 yds, offset of 13 yards import

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Import of 200 ton type 2 for building pad and approximately 180 ton of type 2 for paved parking areas, Total of 380 ton type 2 base imported for compaction under pads & paved areas

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Yes, we will be disturbing 50 cubic yards of earthen material or greater and an area of 10,000 SF of the land surface or greater, but less than the thresholds established for major grading.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

Yes, lot was flattened out to park on. Work was done 2018, Curtis & Sons completed the work.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, see grading plan CSC-G-000



8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

No

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The slope is -2.3% from NW corner of property to SE corner, pavement, trees, gravel

11. Are you planning any berms?

Yes	NoX	If yes, how tall is the berm at its highest?
-----	-----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

No

13. What are you proposing for visual mitigation of the work?

We will keep property clean and orderly

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

NO

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

NA

16. How are you providing temporary irrigation to the disturbed area?

water truck

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No X	If yes, please attach a copy.
-----	------	-------------------------------



**NOTICE OF TAXES**  
**WASHOE COUNTY, NEVADA**  
 TAMMI DAVIS - TREASURER

1001 E 9th St, Bldg D, Rm 140  
 Reno, NV 895  
 Monday-Friday 8am-5pm

tax@washoecounty.us  
 washoecounty.us/treas  
 Phone: (775) 328-2510  
 Fax: (775) 328-2500

Fiscal Year July 1, 2019 - June 30, 2020

Annual Real Property - Tax Year 2019

<b>TAX YEAR</b> 2019	<b>PARCEL #</b> 05023462	<b>PROPERTY LOCATION</b> 470 US HIGHWAY 395 S
<b>AREA</b> 4000	<b>TAX RATE</b> 3.2402	<b>PROPERTY DESCRIPTION</b> Lot 2 Block A Range 19 SubdivisionName WASHOE TERRACE SUBDIVISION Township 17 Section 24

<b>NAME</b> DDC ENTERPRISE LLC	<b>EXEMPTION VALUES</b> 0	<b>ASSESSED VALUATION</b> LAND 29,413 IMPROVEMENT 0
	<b>TOTAL EXEMPTION VALUE:</b> 0	<b>TOTAL ASSESSED VALUE:</b> 29,413

**ACCOUNT SUMMARY**

GROSS AD VALOREM TAX:	\$953.05
ABATEMENT AMOUNT	\$152.21
*ABATEMENT APPLIED LIMITS INCREASE TO 4.8%*	
RECAPTURE TAX AMOUNT:	\$0.00
NET AD VALOREM TAX (DETAIL RIGHT):	\$800.84
EXEMPTION AMOUNT:	\$0.00
SPECIAL ASSESSMENTS:	\$0.00
PENALTIES:	\$0.00
FEES:	\$0.00
INTEREST:	\$0.00
<b>TOTAL AMOUNT BILLED:</b>	<b>\$800.84</b>
LESS PAYMENTS APPLIED:	\$0.00
<b>BALANCE REMAINING:</b>	<b>\$800.84</b>
PRIOR YEAR DELINQUENCIES:	\$0.00
<b>TOTAL AMOUNT OWING:</b>	<b>\$800.84</b>

**BILLING DETAIL**

TAXING AGENCY	RATE	AMOUNT
STATE OF NEVADA	0.17000000	\$42.01
TRUCKEE MEADOWS FIRE	0.54000000	\$133.46
SCHOOL DEBT	0.38850000	\$96.02
SCHOOL GENERAL	0.75000000	\$185.38
COUNTY GENERAL	1.34070000	\$331.37
COUNTY DEBT	0.02100000	\$5.19
ANIMAL SHELTER	0.03000000	\$7.41

**SPECIAL ASSESSMENTS**

SPECIAL ASSESSMENTS	AMOUNT
Pd 8/19/19	
CK# 1151	

SEE REVERSE SIDE FOR IMPORTANT INFORMATION AND PAYMENT OPTIONS.

IF PAYING BY CHECK, INCLUDE APPROPRIATE COUPONS.

REFERENCE PARCEL NUMBER ON ALL PAYMENTS AND CORRESPONDENCE TO ASSURE PROPER CREDIT.

IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO ENSURE THAT PAYMENT IS RECEIVED.

SEE ENCLOSED COUPONS FOR DUE DATES AND AMOUNTS DUE.

This notice is for your information, DO NOT consider this an attempt to collect if this property is protected by a bankruptcy proceeding. We ask that you contact our office to verify we have received a notice of bankruptcy.

WTFFORMA1 06112019 (QESP)10:T006:002383:001:0000:012048437:WC-A1-2011:0DWTFFORMA

Please notify our office if your mailing address has changed by using one of the methods listed on the reverse side of this form.

PARCEL #: 05023462  
 107756520993099

New Address: **05023462**

DDC ENTERPRISE LLC  
 PO BOX 2911  
 MINDEN NV 89423-2911

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

002240



WSUP19-0023

SIGNATURE \_\_\_\_\_ PH **EXHIBIT H**



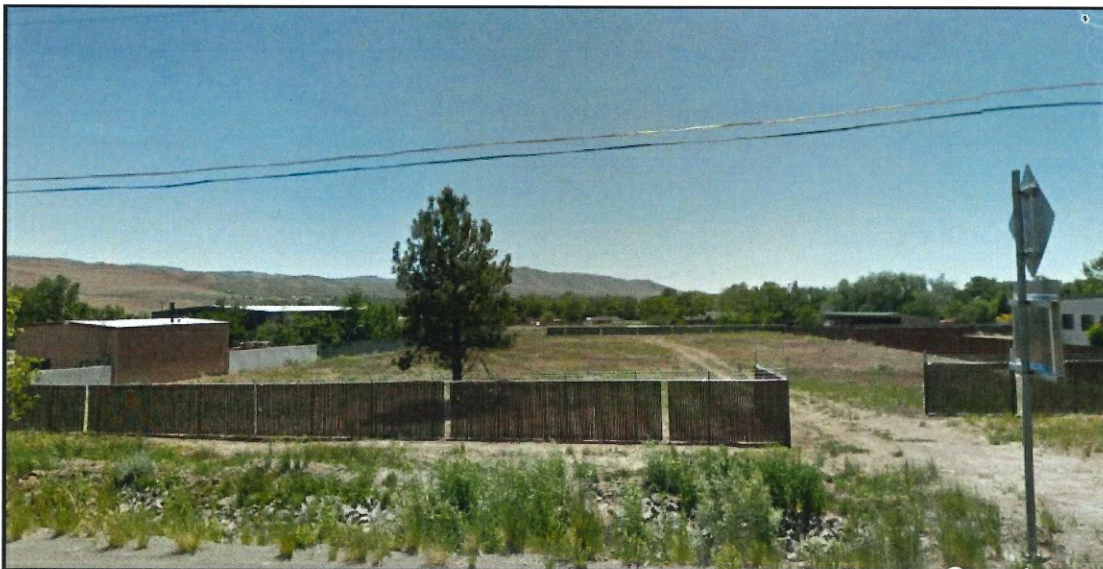
## CURTIS AND SONS CONSTRUCTION INC, SPECIAL USE PERMIT APPLICATION MATERIALS & SUPPLEMENTAL INFORMATION

### PROPOSED SITE PLAN

This parcel is ideally suited for the proposed construction equipment storage use given the surrounding area. Following are several photos provided to show the typical area development.



**Photo 1: Google Image showing parcel location and surrounding area**

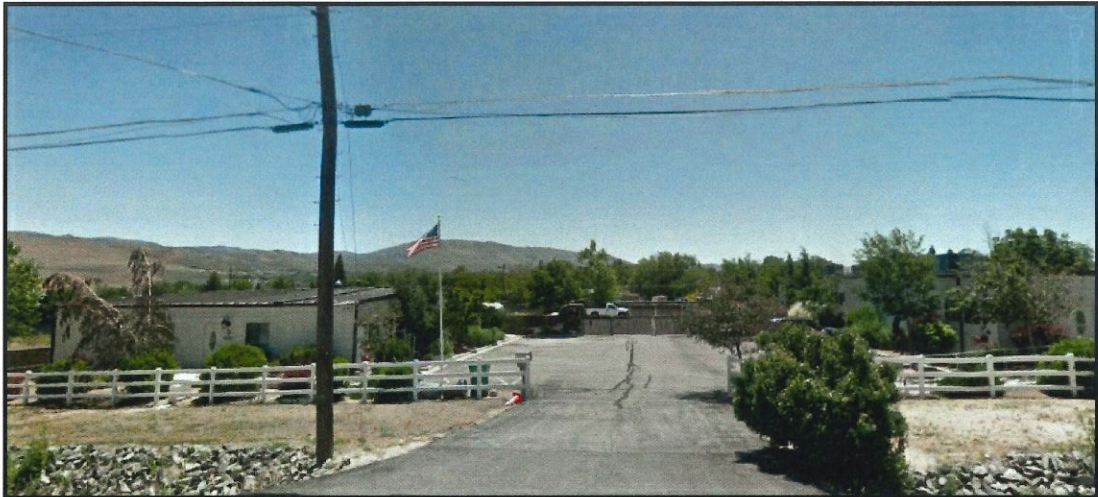


**Photo 2: Curtis and Sons Parcel, Looking Southeast**

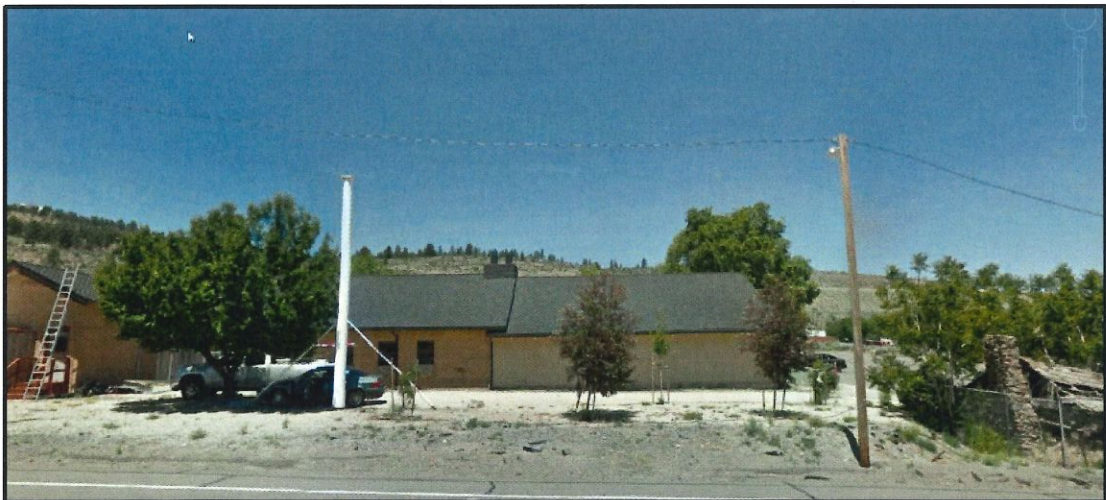




**Photo 3: Development directly Northeast, Adjoining the Curtis & Sons Parcel**

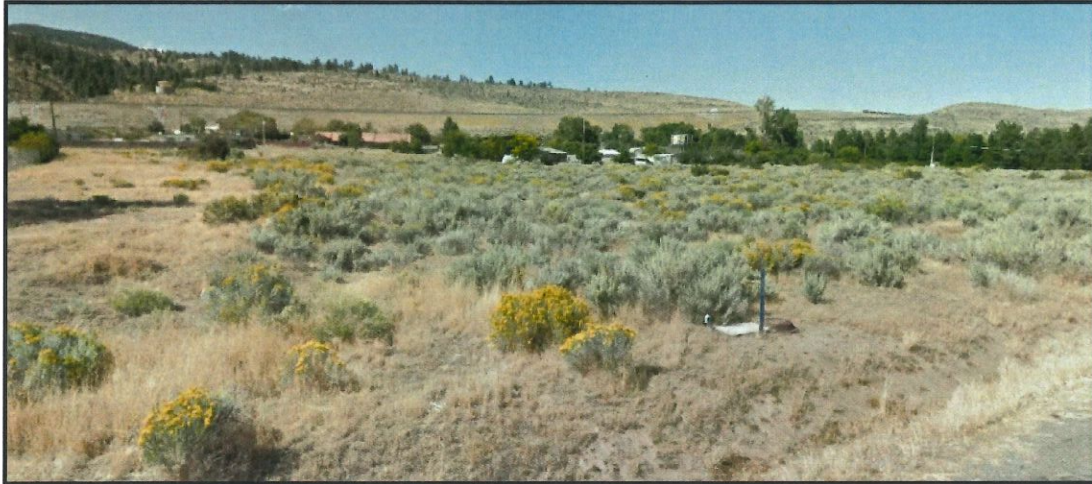


**Photo 4: Development directly Southwest, Adjoining the Curtis and Sons Parcel**



**Photo 5: Development directly across Old Highway 395, North of the parcel**





**Photo 6: Undeveloped land located South of the proposed development**

Attached as Exhibit A is the proposed site plan specifications prepared in accordance with the Special Use Permit Submittal Requirements, Item 6. Following is a summary of the requirements included, and those that are not applicable:

6a) The lot size is 1.6 acres and the mapping has been developed with scale as required.

6b) Proposed buildings are included for reference with all distances detailed. No existing building are on the parcel at this time.

6c) There are no wells on this site, and the proposed septic sewer connection is provided.

6d) Parking, lighting, and landscaping is included in the drawing with design details attached as Exhibit D. Native vegetation will be retained as much as possible in areas where feasible during construction.

6e) No roadway development is occurring as part of this development.

6f) Property boundaries and bearings are included in the mapping. The northernmost corner of the property is located at  $39^{\circ}19'28.12''N$ ,  $119^{\circ}48'42.14''W$ .

6g) Exhibit B has been prepared and is included to reflect the area topography. In general the area is flat.

6h) The site has no prominent landmarks, rock outcroppings, or natural foliage. There is one existing tree on site that will likely be removed. All other vegetation on the site is typical sage and rabbit brush.

6i) Per the FEMA mapping, the site is not within any annual flooding zone. See Exhibit C.

6j) Adjoining street is labeled and included.

6k) A vicinity map is included on the cover page of Exhibit A.

6l) Date and scale of each drawing is included.

6m) Not applicable, as this property is less than 5,500 feet above sea level and snow storage will not be required.

6n) There are no known areas of potential hazard. Earthquake mapping was reviewed and no faults are located within 300 feet of the parcel boundaries. The area as discussed above is not within flood zoning.

6o) The parcel is flat as reflected in the topography.

6p) No wetland or floodplains are located within the development parcel or within close proximity to the site.

6q) A note by the project engineer indicating compliance with all applicable provisions of the Washoe County Development Code has been included in previous submittal.

6r) Not applicable, there are no critical or sensitive buffer zones within 3,000 feet of this property.

#### **GRADING**

Items 7 and 8 of the Special Use Permit Submittal Requirements have been covered in Exhibit H – Grading Plan.

#### **TRAFFIC IMPACT REPORT**

This development will NOT generate more than 80 weekday peak hour trips. It is anticipated that the use of this site will require 12 to 15 weekday peak hour trips on average. As such, a Traffic Impact Report is not required for this application.

#### **LANDSCAPING**

The landscaping plans have been included herein as Exhibit D.

## **SIGNAGE**

The proposed signage plan includes one sign, with dimensions of 3 feet wide and 2 feet high. The proposed sign will be installed on the fence and the top of the sign will be at an elevation of 5 feet above finish grade. All signs will not be illuminated. Sign location is annotated in Exhibit A and will be on the northwest fence, adjacent to the property entrance. Exhibit E shows typical sign location and elevation.

## **LIGHTING**

A lighting plan has been developed to meet the requirements of the Washoe County Development Code, section 110.410.25. Parking lot lighting will consist of two (2) high-pressure sodium vapor luminaries. All lighting will be dark sky compliant per South Valleys Master Plan requirements. The luminaries will be wall-mounted at a height of approximately ten feet above ground level and will provide an average illumination level of 3.46 foot-candles throughout the parking lot. The lighting study can be found in Exhibit F.

## **BUILDING ELEVATIONS**

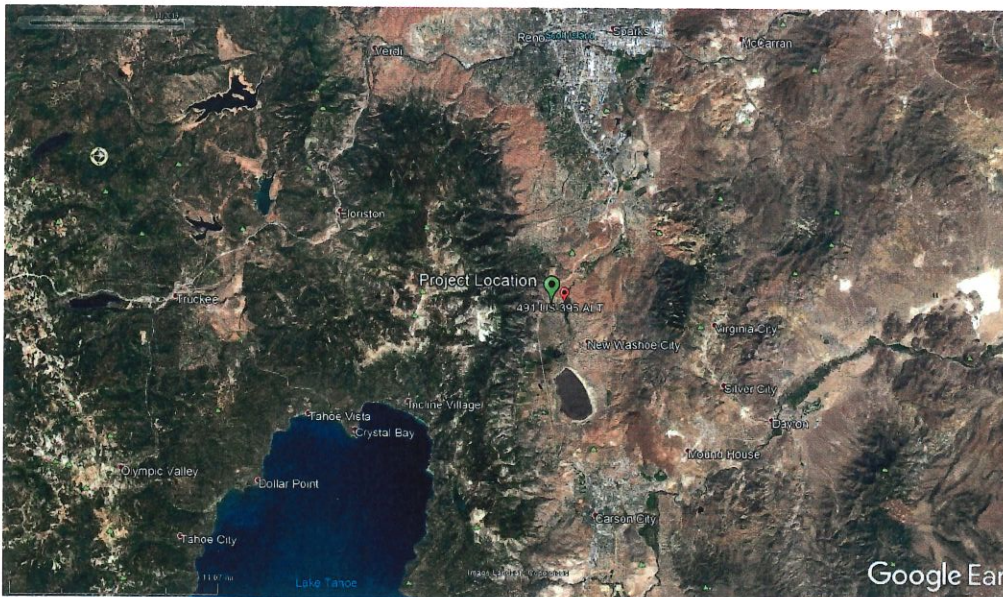
The building elevation plans have been included herein as Exhibit G.



# EXHIBIT A

## Curtis and Sons Construction Inc. Special Use Permit Application

### Proposed Site Plan



**Photo 7: Google Image showing vicinity of parcel location**



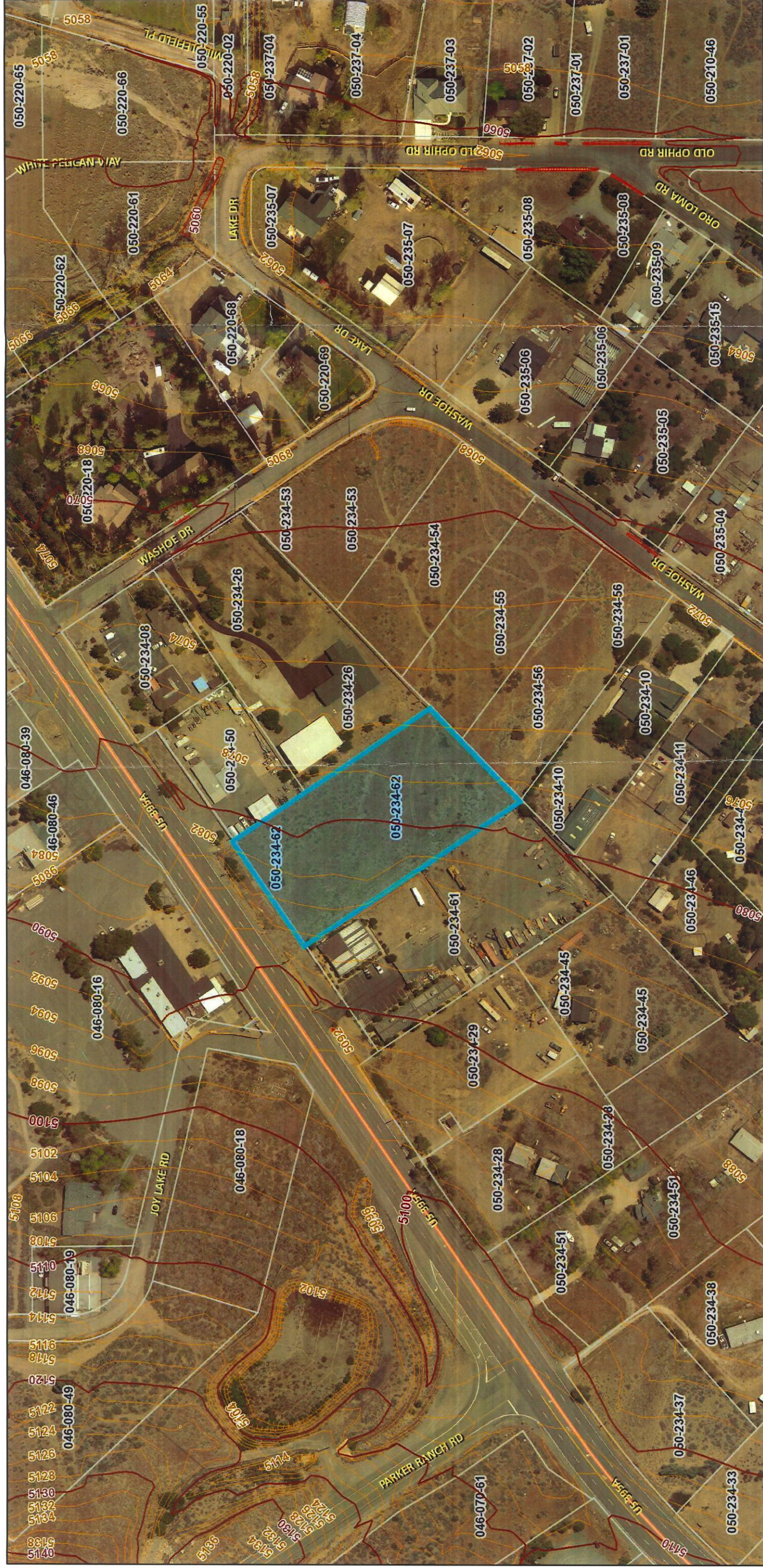
# EXHIBIT B

Curtis and Sons Construction Inc.  
Special Use Permit Application

Area Topography



# APN 050-234-62: Topography



September 19, 2019

polygonLayer

Override 1

APN

1:2,257



Washoe County  
 Washoe County GIS  
 Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,  
 CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User  
 Community

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.  
 Washoe County Technology Services - Regional Services Division, 1001 E. 9th St, Building C-200, Reno, NV 89512 www.washoecounty.us/gis (775) 328-2345



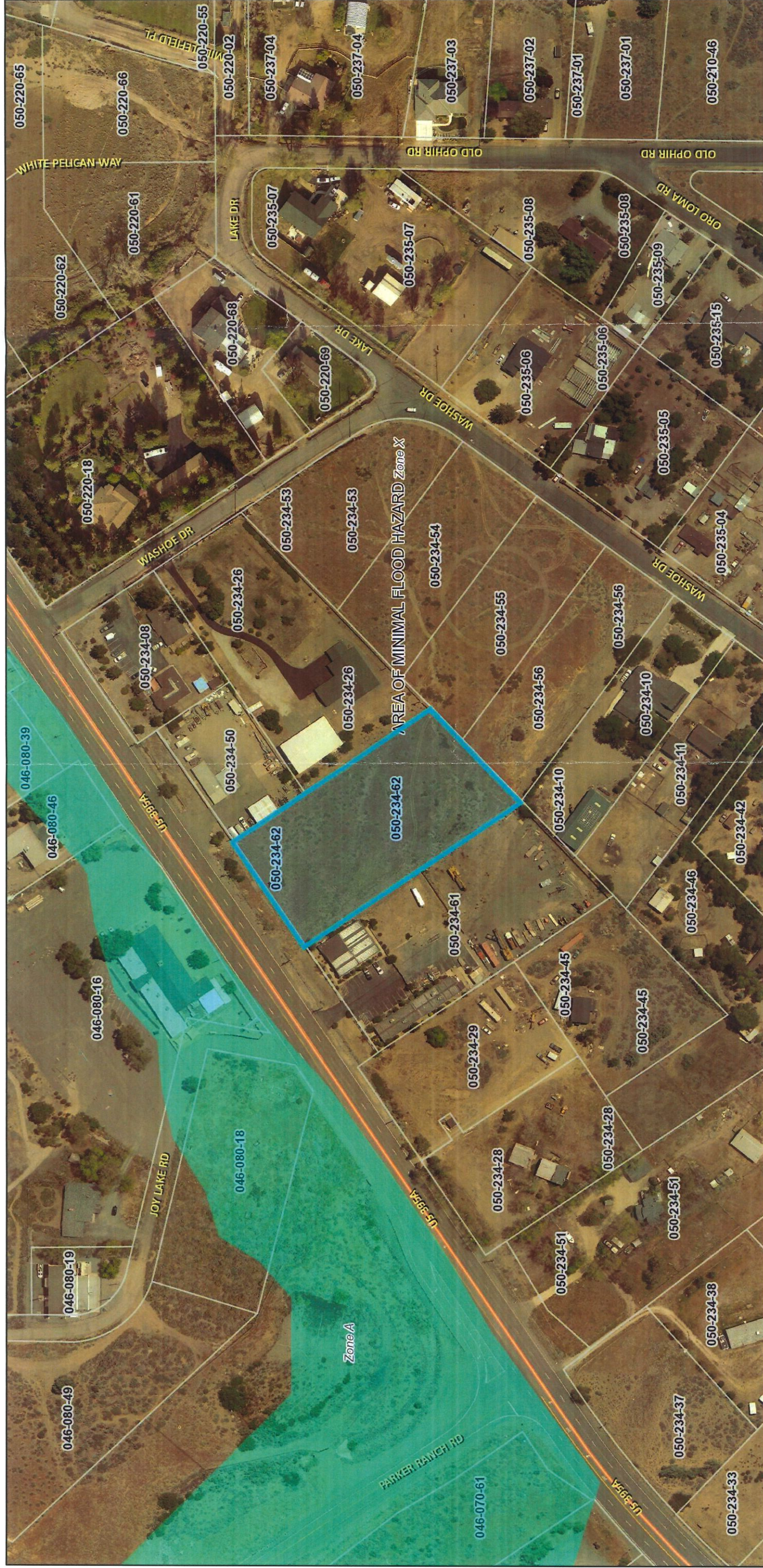
# EXHIBIT C

Curtis and Sons Construction Inc.  
Special Use Permit Application

Flood Boundary



# APN 050-234-62: Flood Boundary



September 19, 2019

polygonLayer

Override 1

Flood Hazard Zones

1% Annual Chance Flood Hazard

Regulatory Floodway

Special Floodway

Area of Undetermined Flood Hazard

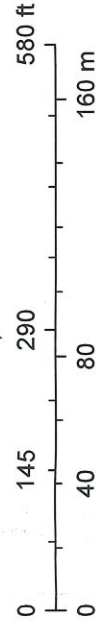
0.2% Annual Chance Flood Hazard

Future Conditions 1% Annual Chance Flood Hazard

Area with Reduced Risk Due to Levee

APN

1:2,257



Washoe County

Washoe County GIS

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation. Washoe County Technology Services - Regional Services Division, 1001 E. 9th St, Building C-200, Reno, NV 89512 www.washoecounty.us/gis (775) 328-2345

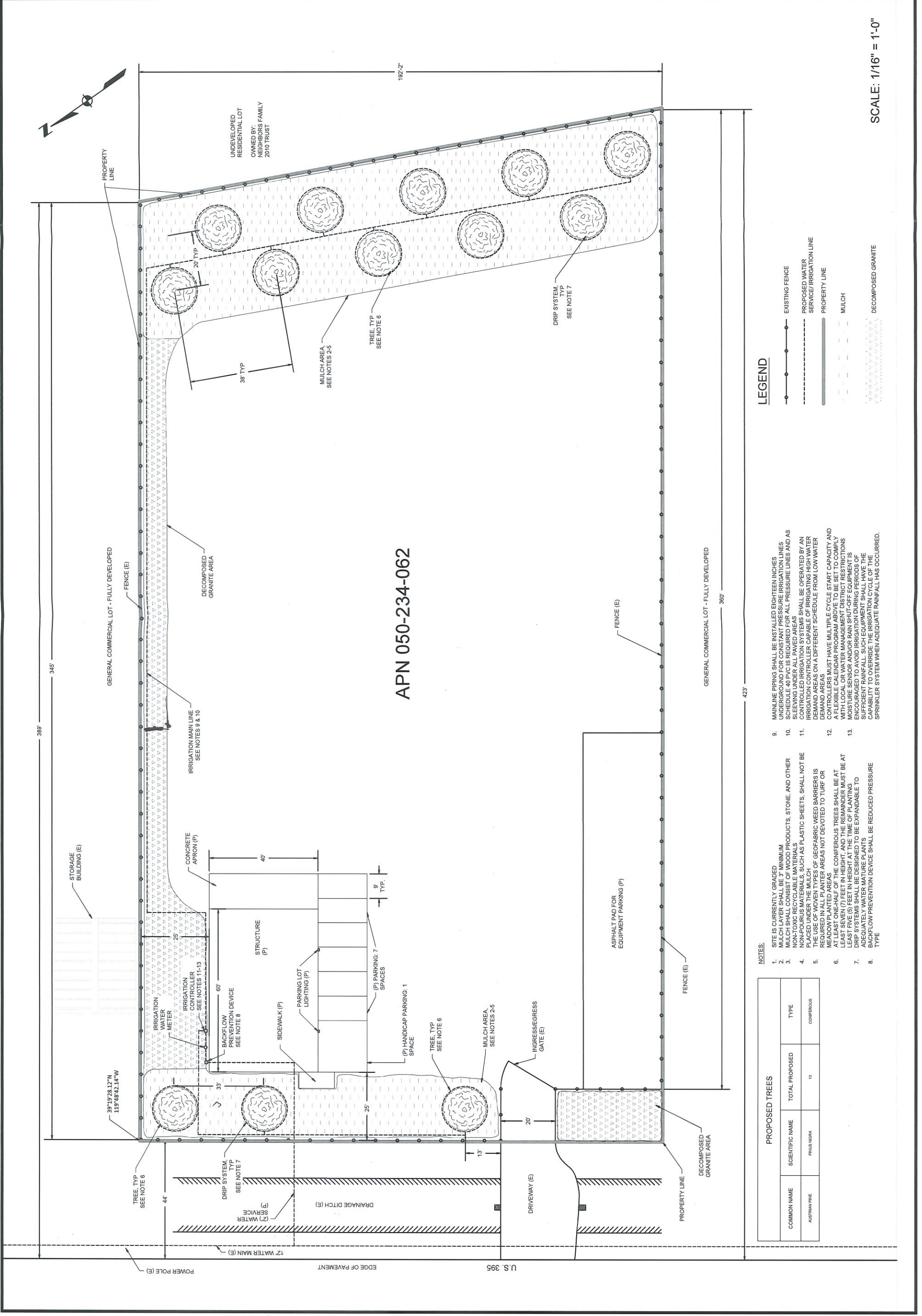


# EXHIBIT D

Curtis and Sons Construction Inc.  
Special Use Permit Application

Landscaping Plan

Rev.	Date	Description	By	Chkd.	Apprd.
A	10/17/19	SPECIAL USE PERMIT APPLICATION	JCL		



**LEGEND**

	EXISTING FENCE
	PROPOSED WATER SERVICE/IRRIATION LINE
	PROPERTY LINE
	MULCH
	DECOMPOSED GRANITE

- NOTES:**
- SITE IS CURRENTLY GRADED
  - MULCH LAYER SHALL BE 3" MINIMUM
  - MULCH SHALL CONSIST OF WOOD PRODUCTS, STONE, AND OTHER NON-TOXIC RECYCLABLE MATERIALS
  - PLACED UNDER THE MULCH
  - THE USE OF WOVEN TYPES OF GEOTEXTILE WEED BARRIERS IS ENCOURAGED IN AREAS NOT DEVOTED TO TURF OR MEADOW PLANTED AREAS
  - AT LEAST ONE-HALF OF THE CONIFEROUS TREES SHALL BE AT LEAST SEVEN (7) FEET IN HEIGHT, AND THE REMAINDER MUST BE AT LEAST FIVE (5) FEET IN HEIGHT AT THE TIME OF PLANTING
  - DRIP SYSTEMS SHALL BE DESIGNED TO BE EXPANDABLE TO ACCOMMODATE FUTURE PLANTS
  - LOW PREVENTION DEVICE SHALL BE REDUCED PRESSURE TYPE
  - MAINLINE PIPING SHALL BE INSTALLED EIGHTEEN INCHES UNDERGROUND FOR CONSTANT PRESSURE IRRIGATION LINES
  - SCHEDULE 40 PVC IS REQUIRED FOR ALL PRESSURE LINES AND AS SLEEVING UNDER ALL PAVED AREAS
  - IRRIGATION CONTROLLER CAPABLE OF IRRIGATING HIGH WATER DEMAND AREAS ON A DIFFERENT SCHEDULE FROM LOW WATER DEMAND AREAS
  - CONTROLLED IRRIGATION SYSTEMS SHALL BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF IRRIGATING HIGH WATER DEMAND AREAS ON A DIFFERENT SCHEDULE FROM LOW WATER DEMAND AREAS
  - CONTROLLED IRRIGATION SYSTEMS SHALL BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF IRRIGATING HIGH WATER DEMAND AREAS ON A DIFFERENT SCHEDULE FROM LOW WATER DEMAND AREAS
  - A FLEXIBLE CALENDAR PROGRAM ABOVE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT RESTRICTIONS
  - MOISTURE SENSOR AND/OR RAIN SHUT-OFF EQUIPMENT IS ENCOURAGED TO AVOID IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL SUCH EQUIPMENT SHALL HAVE THE CAPABILITY TO SHUT-OFF IRRIGATION
  - SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.

**PROPOSED TREES**

COMMON NAME	SCIENTIFIC NAME	TOTAL PROPOSED	TYPE
AUSTRIAN PINE	PRINUS NUBIA	13	CONIFEROUS

SCALE: 1/16" = 1'-0"

# EXHIBIT E

Curtis and Sons Construction Inc.  
Special Use Permit Application

Signage Plan






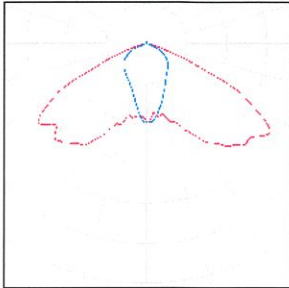
*Figure 1: Shows typical sign size and finish*





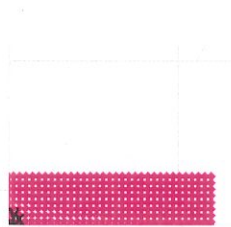
*Figure 2: Proposed sign location and elevation*

## Project 0

Quantity	Luminaire (Luminous emittance)		
2	<p>Unilamp Co., Ltd. - 7651-9-3-621-XX BRUDA - Wall Light Luminous emittance 1 Fitting: 1xHST-MF 70W Light output ratio: 61.81% Lamp luminous flux: 6600 lm Luminaire luminous flux: 4080 lm Power: 83.0 W Luminous efficacy: 49.2 lm/W</p> <p>Colorimetric data 1xHST-MF 70W: CCT 1690 K, CRI 36</p>		

Total lamp luminous flux: 13200 lm, Total luminaire luminous flux: 8160 lm, Total Load: 166.0 W, Luminous efficacy: 49.2 lm/W

## Calculation surface 1 / Perpendicular illuminance



Light loss factor: 0.80

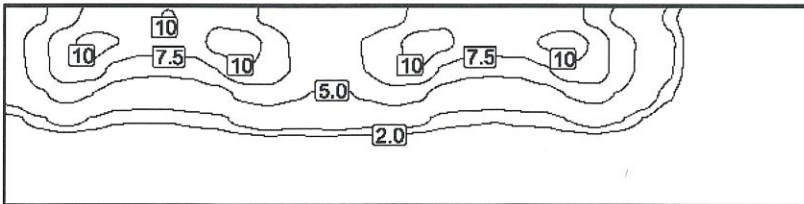
Calculation surface 1: Perpendicular illuminance (Grid)

Light scene: Light scene 1

Average: 3.46 fc, Min: 0.020 fc, Max: 11.3 fc, Mean/Min: 176, Max/Min: 572

Height: 0.000 ft

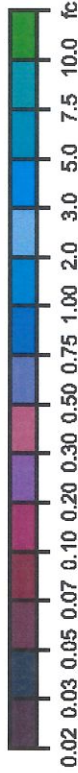
Isolines [fc]



Scale: 1 : 200



False colors [fc]



Scale: 1 : 200

Value grid [fc]

3.5	8.4	10	8.6	5.3	6.7	9.2	9.1	4.4	1.4	0.22
4.4	1.1	9.4	1.1	9.4	9.4	1.1	9.4	1.1	9.4	1.1
4.1	9.1	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3
3.0	9.1	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3
1.9	9.1	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3
0.92	9.1	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3
0.49	9.1	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3	9.3

Scale: 1 : 200

Value chart [fc]

ft	-35.359	3.53	4.70	6.43	8.36	9.43	8.78	10.2	9.07	9.53	8.65	6.87	5.46	5.32	5.40	5.84	-1.141	1.141
	7.875	4.43	6.68	9.27	10.8	10.1	8.85	9.35	9.03	10.9	<b>11.3</b>	9.66	7.26	6.60	6.60	7.79	9.39	11.2
	3.375	4.08	6.63	9.05	9.10	6.47	5.55	5.51	5.80	7.56	9.82	7.42	6.26	6.18	6.18	7.67	9.33	9.95
	1.125	3.02	4.64	6.06	5.09	3.42	3.29	3.30	3.48	3.90	5.68	6.31	5.49	4.85	4.83	5.49	6.40	5.63
	-1.125	1.90	2.42	2.87	2.49	2.10	2.09	2.07	2.19	2.30	2.80	3.21	2.94	2.99	3.07	2.85	3.19	2.81
	-3.375	0.97	1.23	1.32	1.33	1.38	1.33	1.32	1.40	1.47	1.47	1.55	1.57	1.64	1.58	1.58	1.49	1.40
	-5.625	0.52	0.63	0.69	0.81	0.87	0.81	0.81	0.84	0.94	0.87	0.79	0.80	0.84	0.88	0.74	0.79	0.87
	-7.875	0.25	0.36	0.44	0.49	0.51	0.49	0.49	0.51	0.54	0.51	0.48	0.44	0.39	0.34	0.44	0.47	0.51
ft	3.422	5.703	7.984	10.266	12.547	14.828	17.109	19.390	21.672	23.953	26.234	28.515	30.797	33.078	35.359			
	7.875	9.64	9.20	9.60	9.29	9.09	8.72	6.55	4.40	3.46	2.25	1.42	0.65	0.38	0.22	0.13		
	5.625	10.5	9.19	9.18	9.10	10.3	11.2	9.66	6.25	4.58	2.72	1.59	0.69	0.39	0.21	0.12		
	3.375	7.00	5.65	5.49	5.63	7.11	9.31	9.08	6.42	4.38	2.62	1.58	0.74	0.41	0.22	0.12		
	1.125	3.66	3.34	3.28	3.39	3.70	5.22	6.07	4.83	3.22	2.13	1.28	0.54	0.28	0.16	0.092		
	-1.125	2.23	2.14	2.06	2.17	2.18	2.56	2.91	1.98	1.36	0.63	0.36	0.23	0.13	0.068			
	-3.375	1.45	1.36	1.32	1.37	1.43	1.41	1.41	1.28	1.08	0.71	0.41	0.20	0.11	0.075	0.052		
	-5.625	0.90	0.83	0.80	0.82	0.90	0.82	0.73	0.71	0.57	0.43	0.15	0.11	0.078	0.045	0.026		
	-7.875	0.54	0.51	0.48	0.49	0.52	0.50	0.46	0.38	0.32	0.13	0.089	0.054	0.028	<b>0.020</b>			



# EXHIBIT G

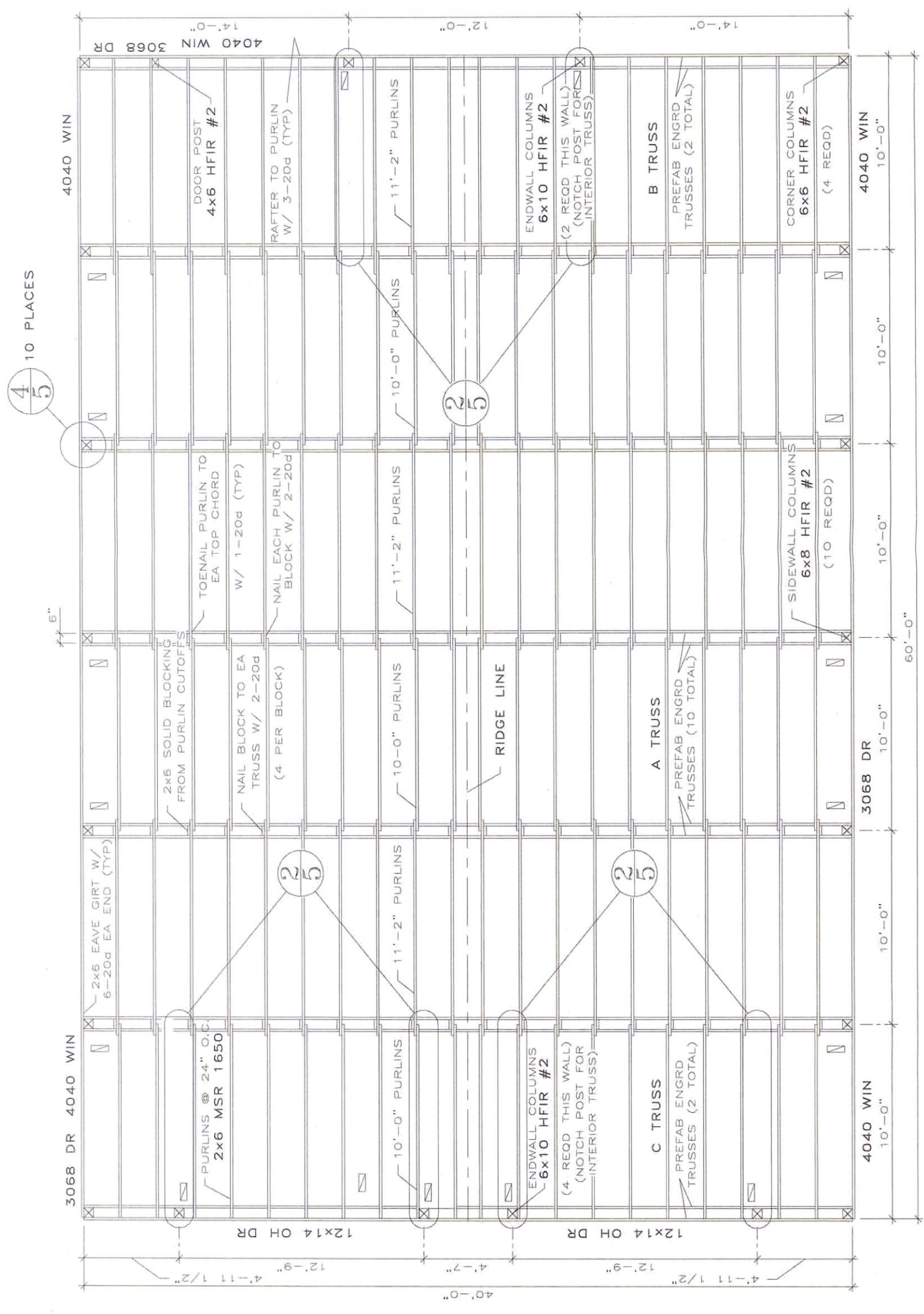
Curtis and Sons Construction Inc.  
Special Use Permit Application

Building Elevations

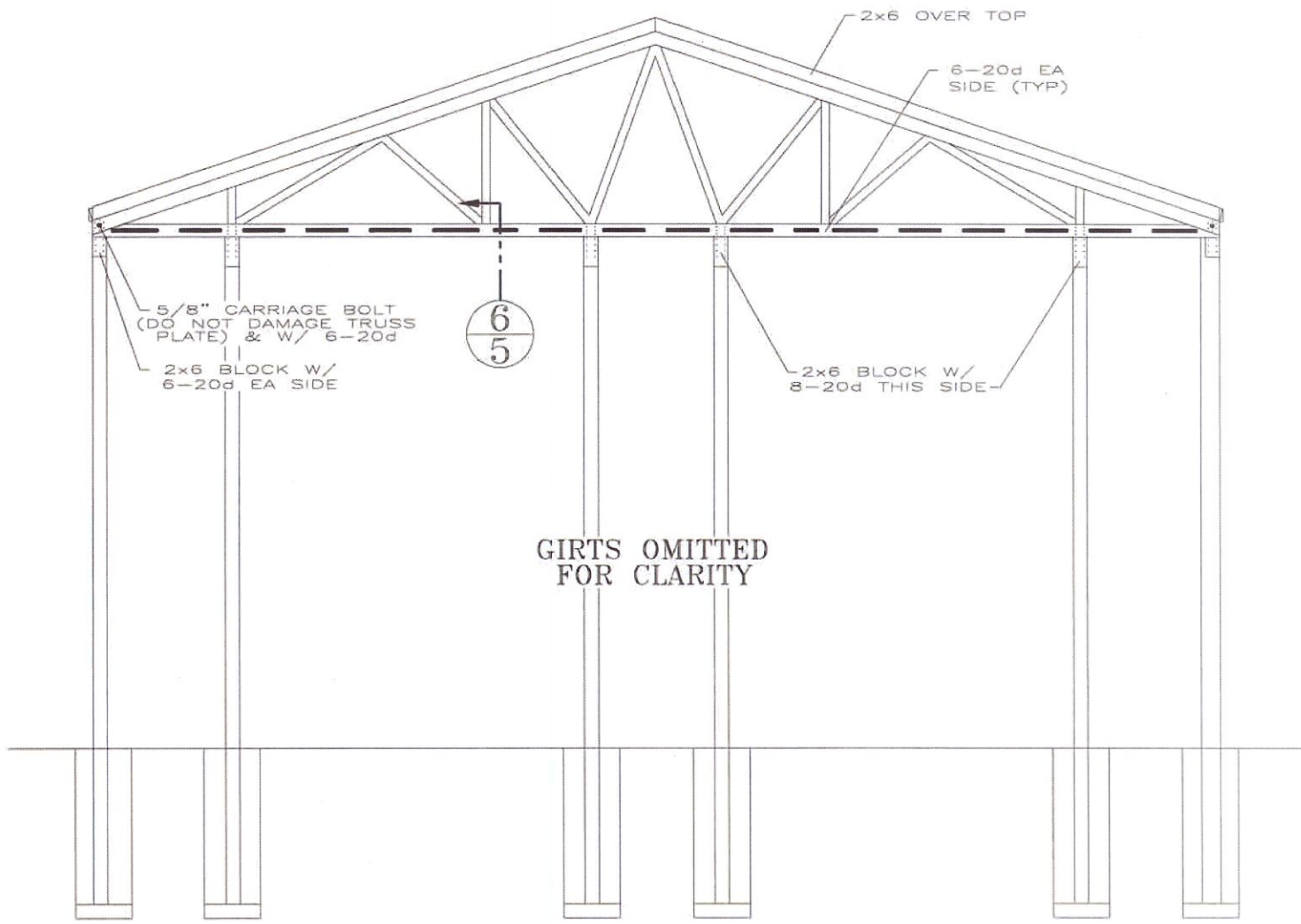
<p><b>M &amp; W BUILDING SUPPLY</b> CUSTOM POLE BUILDINGS 40' WIDE x 60' LONG x 19' EAVE</p>	<p><b>HOYLE CONST. FOR CURTIS &amp; SONS</b> 490 OLD HWY 395 N. RENO, NEVADA</p>	<p>ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE AND DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. PERSONS OR AGENCIES SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE. OCCUPANCY AND/OR FIRE &amp; LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES, SLAB &amp; HAIRPINS SHOWN FOR CONSTRAINT ONLY. DESIGN MIX, THICKNESS, C.F.S. &amp; REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT</p>	<p>ROOF LOAD: LIVE 30 PSF DEAD LOAD: 3 PSF WIND LOAD: 130MPH EXP. C SEISMIC ZONE: D FOUNDATION PRESSURE: 1500 PSF LAT. SOIL BEARING: 100 PSF BUILDING DESIGN 2018 I.B.C. CLOSED BUILDING</p>
<p>22175 S. HWY. 99E CANBY, OREGON 97013 (503) 263-6953 (503) 266-7102 (FAX)</p>		<p>SCALE: NONE RDD/RD 8/2/19 REV-1 9/17/19 KIT MW19173</p>	



10-219  
SHT 1 OF 7







GIRTS OMITTED FOR CLARITY

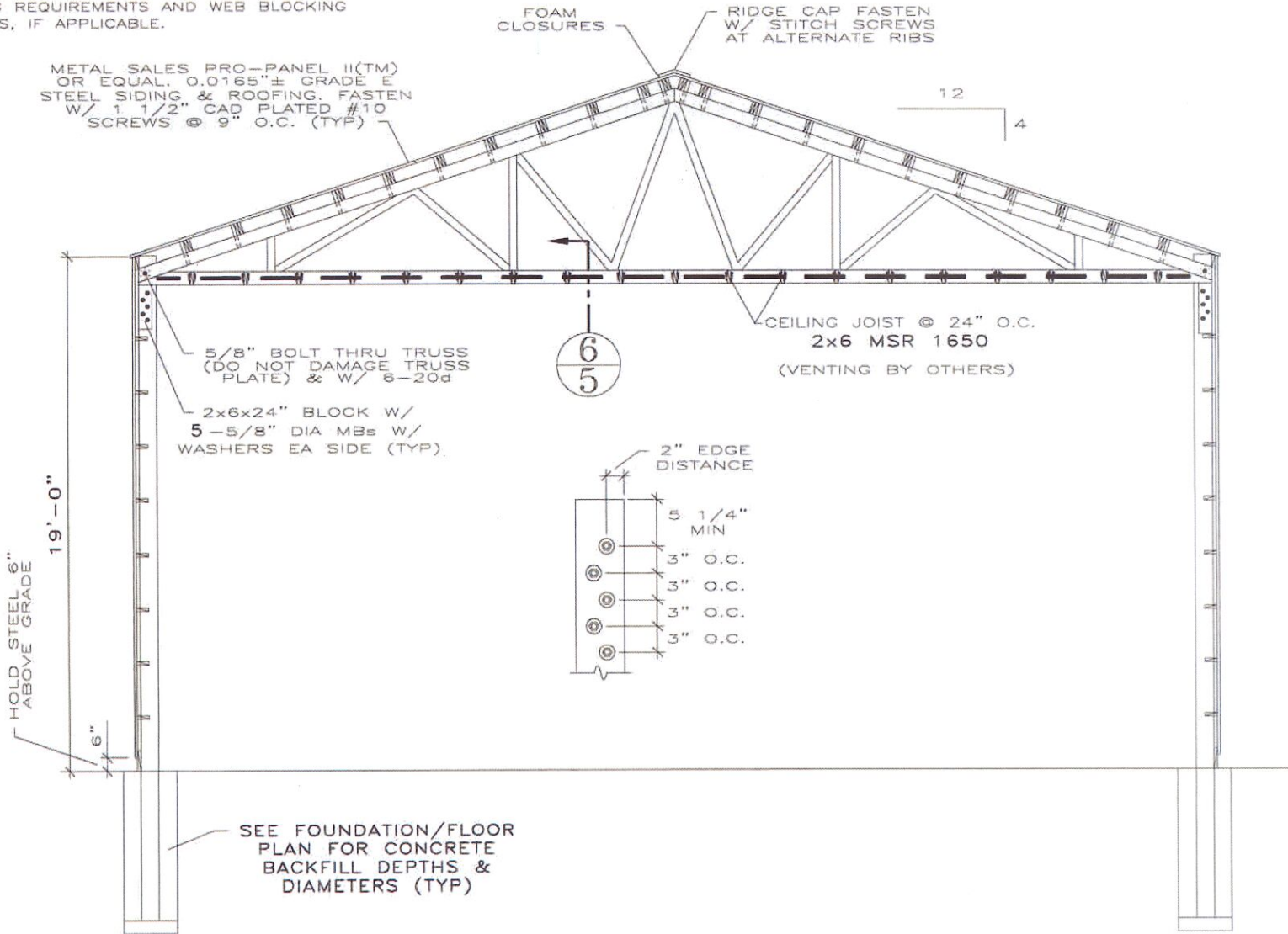
ENDWALL W/ OH DOORS

NOTES:

SEE TRUSS DRAWINGS FOR DOUBLE TRUSS BLOCKING REQUIREMENTS AND WEB BLOCKING LOCATIONS, IF APPLICABLE.

METAL SALES PRO-PANEL II(TM) OR EQUAL, 0.0165"± GRADE E STEEL SIDING & ROOFING, FASTEN W/ 1 1/2" CAD PLATED #10 SCREWS @ 9" O.C. (TYP)

FOAM CLOSURES  
RIDGE CAP FASTEN W/ STITCH SCREWS AT ALTERNATE RIBS

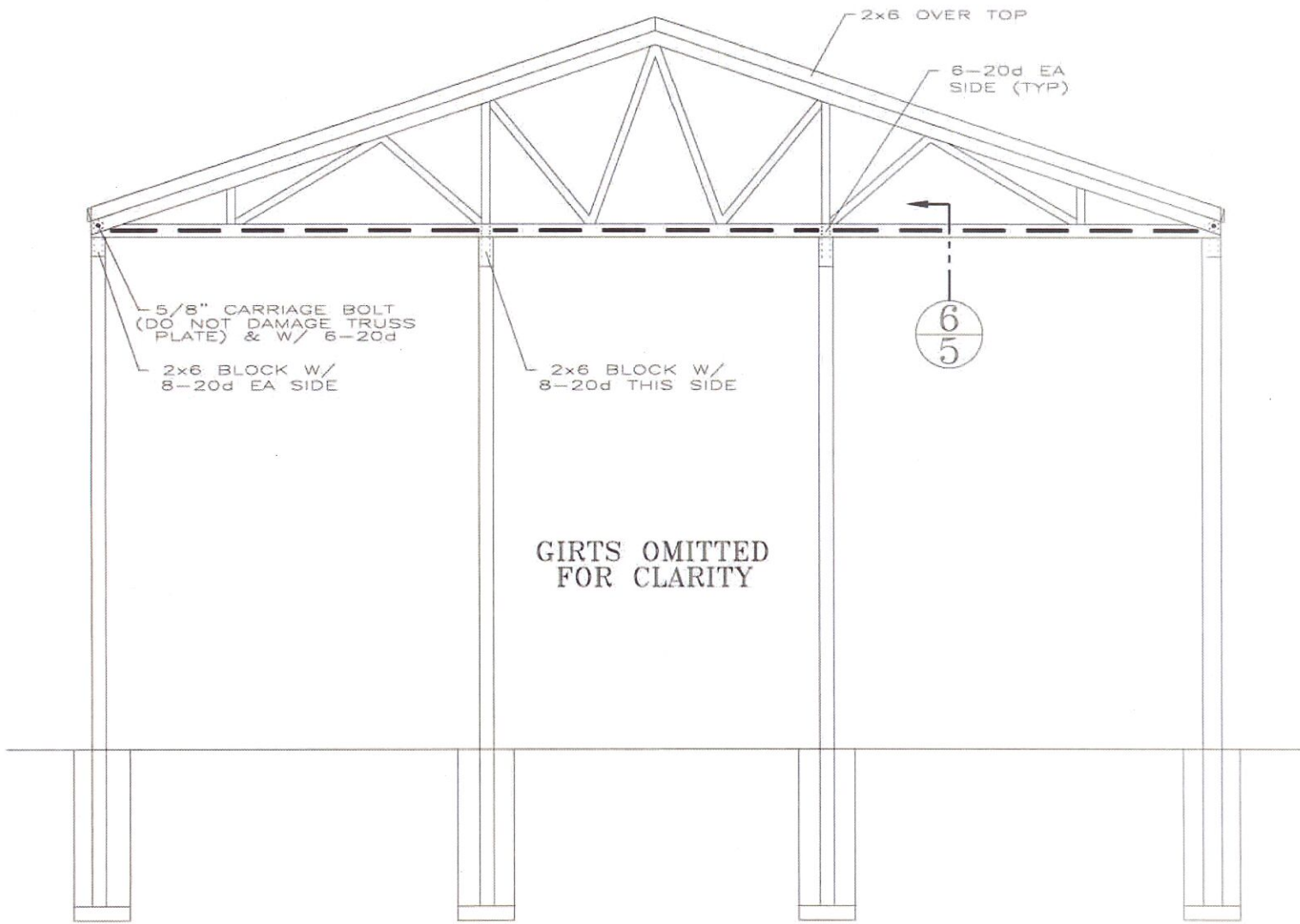


CROSS SECTION

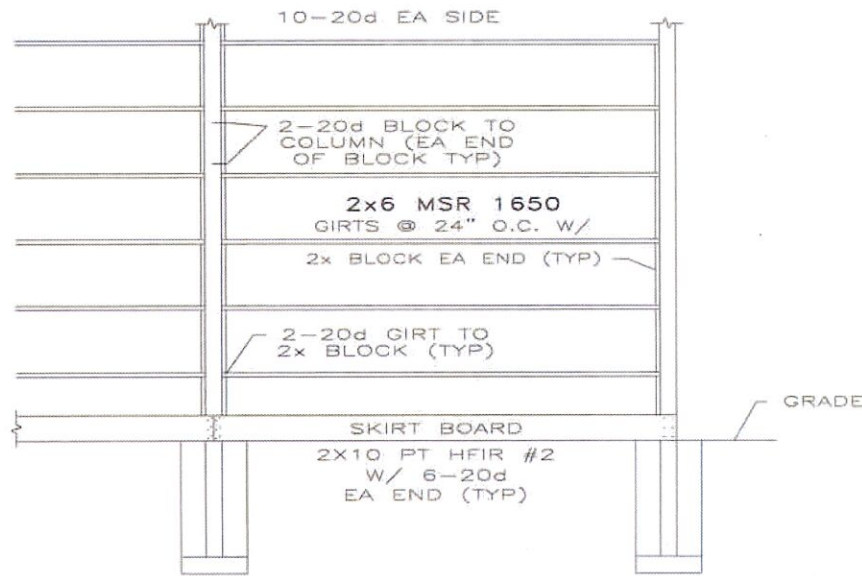
10-219  
SHT 2 of 7

<p><b>M &amp; W BUILDING SUPPLY</b> CUSTOM POLE BUILDINGS 40' WIDE x 60' LONG x 19' EAVE</p>	<p><b>HOYLE CONST. FOR CURTIS &amp; SONS</b> 490 OLD HWY 395 N. RENO, NEVADA COUNTY: WASHOE</p>	<p><b>M &amp; W BUILDING SUPPLY</b> &amp; 22175 S. HWY. 99E CANBY, OREGON 97013 (503) 263-6953 (503) 266-7102 (FAX)</p>									
<p>ROOF LOAD: LIVE 30 PSF DEAD LOAD: 3 PSF WIND LOAD: 130MPH EXP: C SEISMIC ZONE: D FOUNDATION PRESSURE: 1500 PSF LAT. SOIL BEARING: 100 PSF BUILDING DESIGN: 2018 I.B.C. CLOSED BUILDING</p>	<p>ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE &amp; LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB &amp; HAIRPINS SHOWN FOR CONSTRAINTMENT ONLY. DESIGN MIX, THICKNESS, CJ's, &amp; REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT</p>	<table border="1"> <tr> <td>SCALE:</td> <td>NONE</td> </tr> <tr> <td>RDD/RD</td> <td>8/2/19</td> </tr> <tr> <td>REV-1</td> <td>9/17/19</td> </tr> <tr> <td>KIT</td> <td>MW19173</td> </tr> </table>	SCALE:	NONE	RDD/RD	8/2/19	REV-1	9/17/19	KIT	MW19173	
SCALE:	NONE										
RDD/RD	8/2/19										
REV-1	9/17/19										
KIT	MW19173										





ENDWALL W/O OH DOORS

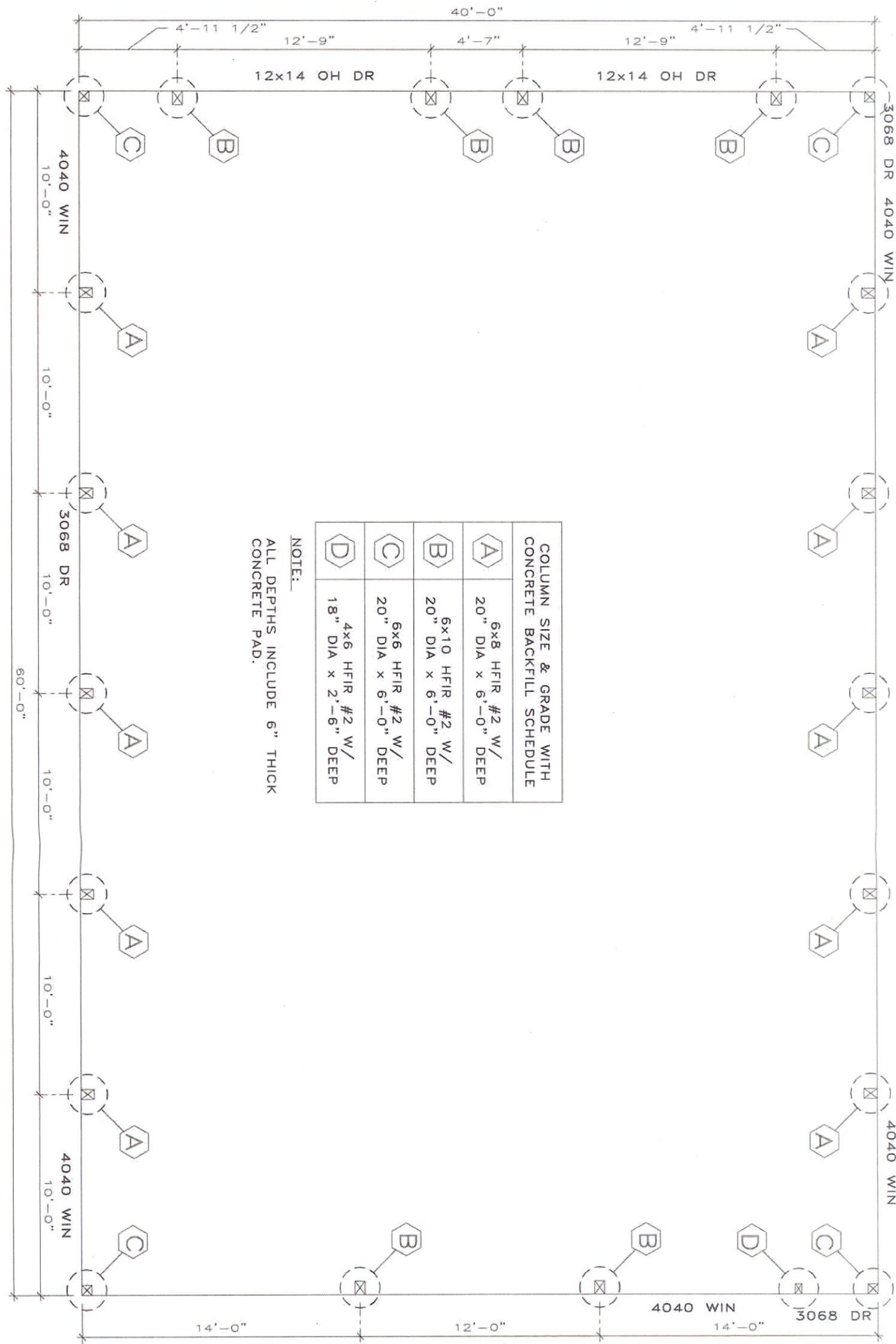


WALL GIRT FRAMING

10.2.19  
SHT 3 of 7



<p><b>M &amp; W BUILDING SUPPLY</b> CUSTOM POLE BUILDINGS 40' WIDE x 60' LONG x 19' EAVE</p>	<p><b>HOYLE CONST. FOR CURTIS &amp; SONS</b> 490 OLD HWY 395 N. RENO, NEVADA COUNTY: WASHOE</p>	<p><b>M &amp; W BUILDING SUPPLY</b> &amp; 22175 S. HWY. 99E CANBY, OREGON 97013 (503) 263-6953 (503) 266-7102 (FAX)</p> <table border="1"> <tr> <td>SCALE:</td> <td>NONE</td> </tr> <tr> <td>RDD/RD</td> <td>8/2/19</td> </tr> <tr> <td>REV-1</td> <td>9/17/19</td> </tr> <tr> <td>KIT</td> <td>MW19173</td> </tr> </table>	SCALE:	NONE	RDD/RD	8/2/19	REV-1	9/17/19	KIT	MW19173	<p><b>NICHOLAS CLAY JASPER</b> ENGINEER - STATE OF NEVADA Exp: 6/30/21 CIVIL No. 018520</p>
SCALE:	NONE										
RDD/RD	8/2/19										
REV-1	9/17/19										
KIT	MW19173										
<p>ROOF LOAD: LIVE 30 PSF DEAD LOAD: 3 PSF WIND LOAD: 130MPH EXP. C SEISMIC ZONE: D FOUNDATION PRESSURE: 1500 PSF LAT. SOIL BEARING: 100 PSF BUILDING DESIGN: 2018 I.B.C. CLOSED BUILDING</p>	<p>ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE &amp; LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB &amp; HAIRPINS SHOWN FOR CONSTRAINMENT ONLY. DESIGN MIX, THICKNESS, C.J.'s, &amp; REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT</p>										





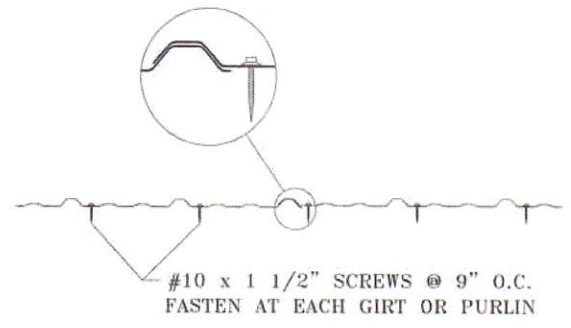
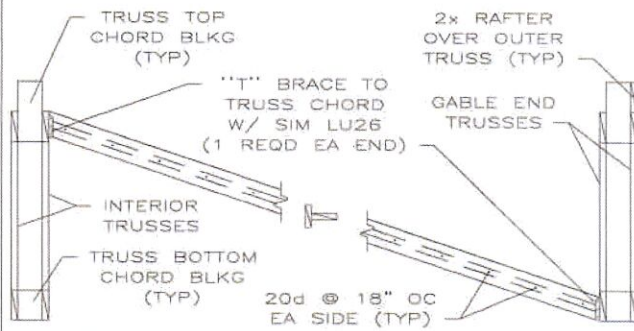
FOUNDATION/FLOOR PLAN

10.219  
SHT 4 of 7

<p><b>M &amp; W BUILDING SUPPLY</b> CUSTOM POLE BUILDINGS</p>	<p><b>HOYLE CONST. FOR CURTIS &amp; SONS</b> 490 OLD HWY 395 N. RENO, NEVADA</p>		<p>22175 S. HWY. 99E CANBY, OREGON 97013 (503) 263-6953 (503) 266-7102 (FAX)</p>								
<p>40' WIDE x 60' LONG x 19' EAVE</p> <p>ROOF LOAD: LIVE 30 PSF DEAD LOAD: 3 PSF WIND LOAD: 130MPH EXP. C SEISMIC ZONE: D FOUNDATION PRESSURE: 1500 PSF LAT. SOIL BEARING: 100 PSF BUILDING DESIGN: 2018 I.B.C. CLOSED BUILDING</p>	<p>COUNTY: WASHOE</p> <p>ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE &amp; LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB &amp; HAIRPINS SHOWN FOR CONSTRAINTMENT ONLY. DESIGN MIX, THICKNESS, C.J.'s, &amp; REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT</p>	<table border="1"> <tr> <td>SCALE:</td> <td>NONE</td> </tr> <tr> <td>RDD/RD</td> <td>8/2/19</td> </tr> <tr> <td>REV-1</td> <td>9/17/19</td> </tr> <tr> <td>KIT</td> <td>MW19173</td> </tr> </table>	SCALE:	NONE	RDD/RD	8/2/19	REV-1	9/17/19	KIT	MW19173	
SCALE:	NONE										
RDD/RD	8/2/19										
REV-1	9/17/19										
KIT	MW19173										



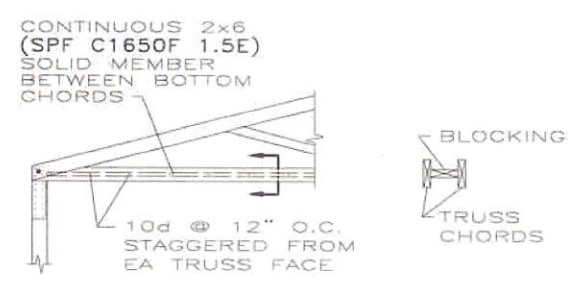
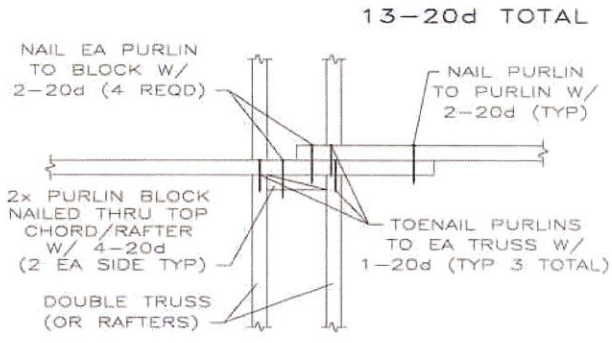
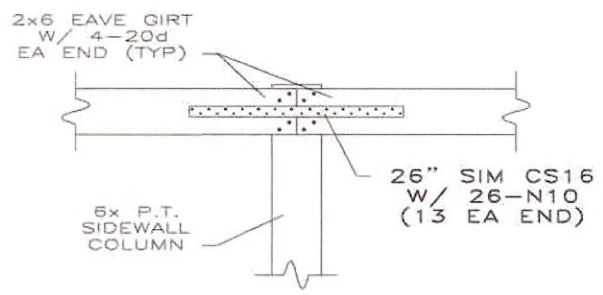
1. BUILDING PAD SHALL BE CONSTRUCTED ON LEVEL SOIL.
2. COLUMN FOOTING CONCRETE BACKFILL SHALL BE CASTE AGAINST EXISTING UNDISTURBED SOIL. THE SIZE AND SHAPE SHOWN ON DRAWINGS. (U.O.N.)
3. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES AND THE LATEST EDITION OF THE I.B.C.
4. BOLT HEADS & NUTS BEARING ON WOOD SHALL HAVE STD. PLATE WASHERS. BOLTS SHALL BE ASTM A307. BOLT HOLE DIA. SHALL BE 1/16" LARGER THAN BOLT DIA.
5. STRUCTURAL STEEL SHAPES AND PLATES SHALL BE ASTM A36 UNLESS OTHERWISE NOTED.
6. REBAR SHALL BE GRADE 40 UNLESS OTHERWISE NOTED. (U.O.N.)
7. CONCRETE FOR FOOTINGS & SLABS  $f_c=2500$  PSI
8. BEARING BLOCKS SHALL BE PRE-DRILLED PRIOR TO SETTING 20d NAILS
9. 20d NAILS SHALL BE GALV. BOX TYPE
10. BOLT HOLES SHALL BE DRILLED STRAIGHT AND PERPENDICULAR TO THE COLUMN FACE TO ASSURE FULL BOLT BEARING
11. SEE TRUSS DRAWINGS FOR DOUBLE TRUSS BLOCKING REQUIREMENTS
12. ALL 6x TIMBERS SHALL BE ROUGH SAWN AND TREATED TO 0.60 RET W/ CCA TYPE C.
13. NO OTHER MATERIALS SHALL BE USED W/O M&W BUILDING APPROVAL



1 NOTES

5 2x6 "T" BRACE KICKER

3 TYP. PANEL W/O EXTENDED LEG N.T.S.



4 GIRT SPLICE

5 PURLIN BLOCK NAILING

6 BOTTOM CHORD SOLID BLOCKING

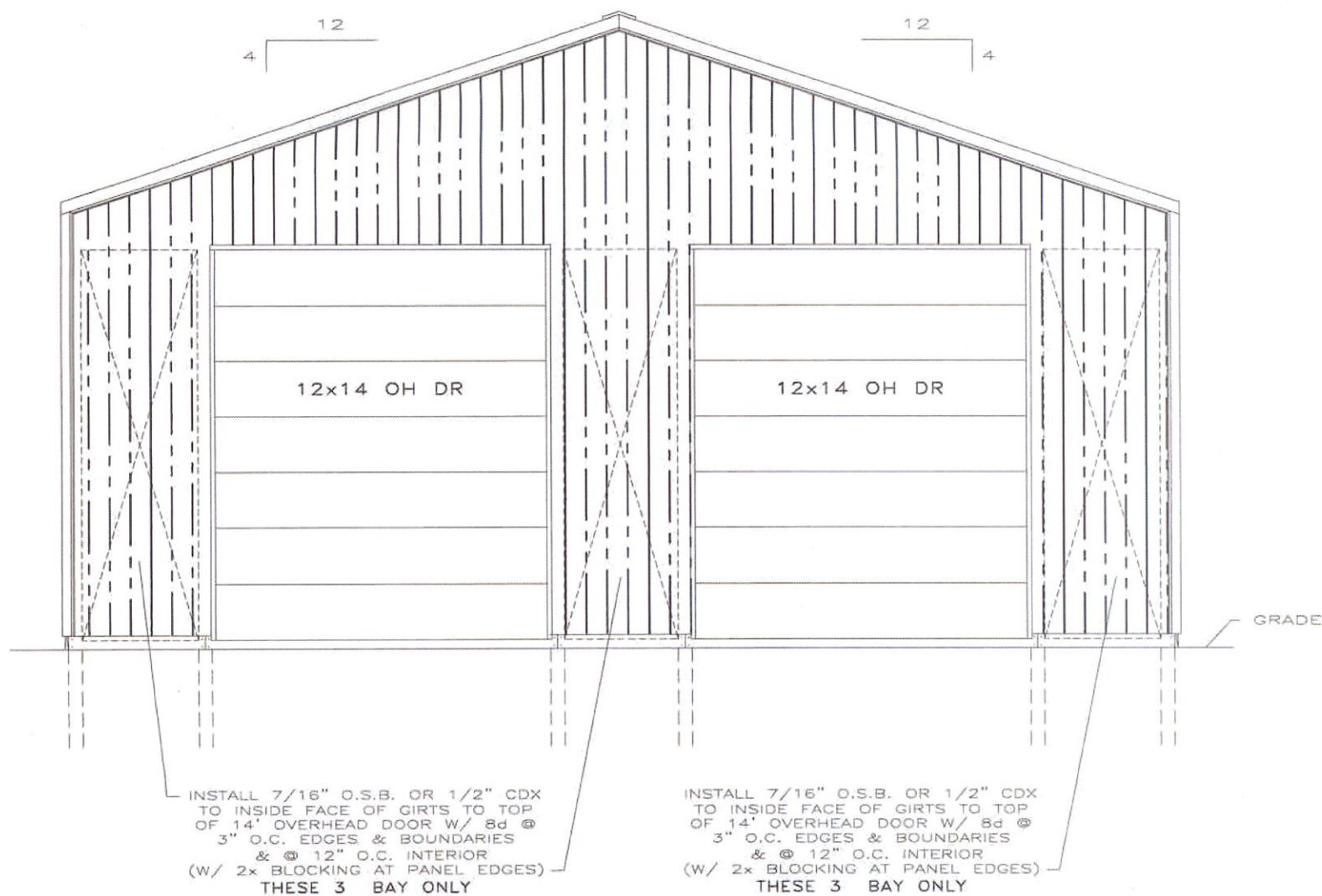
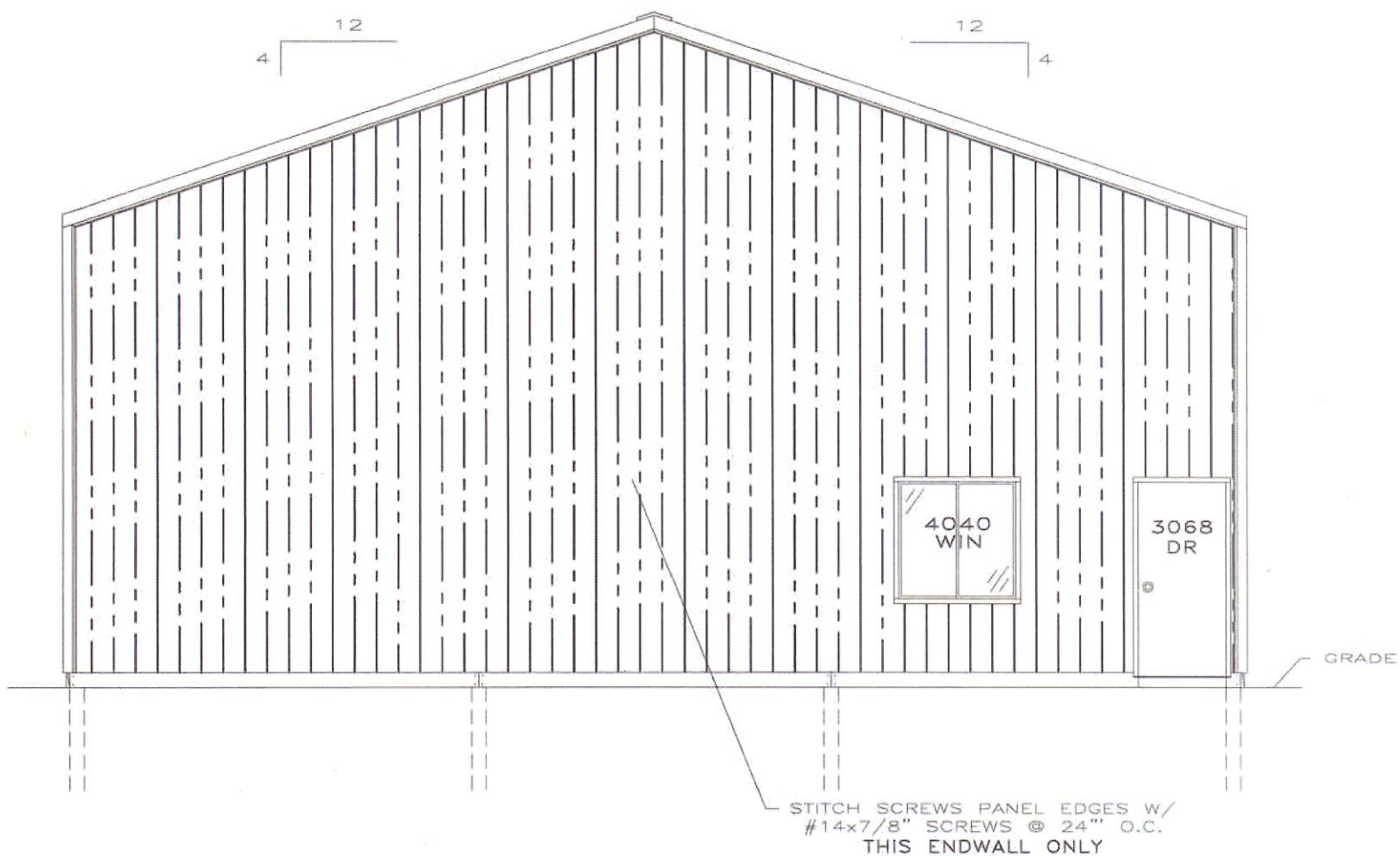
**M & W BUILDING SUPPLY**  
 CUSTOM POLE BUILDINGS  
 40' WIDE x 60' LONG x 19' EAVE  
 ROOF LOAD: LIVE 30 PSF  
 DEAD LOAD: 3 PSF  
 WIND LOAD: 130MPH EXP: C  
 SEISMIC ZONE: D  
 FOUNDATION PRESSURE: 1500 PSF  
 LAT. SOIL BEARING: 100 PSF  
 BUILDING DESIGN: 2018 I.B.C.  
 CLOSED BUILDING

**HOYLE CONST. FOR CURTIS & SONS**  
 490 OLD HWY 395 N.  
 RENO, NEVADA  
 COUNTY: WASHOE  
 ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES. DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB & HAIRPINS SHOWN FOR CONSTRAINTMENT ONLY. DESIGN MIX, THICKNESS, CJ's, & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT

 & 22175 S. HWY. 99E CANBY, OREGON 97013 (503) 263-6953 (503) 266-7102 (FAX)	
SCALE:	NONE
RDD/RD	8/2/19
REV-1	9/17/19
KIT	MW19173

10-2-19  
SHT 5 of 7

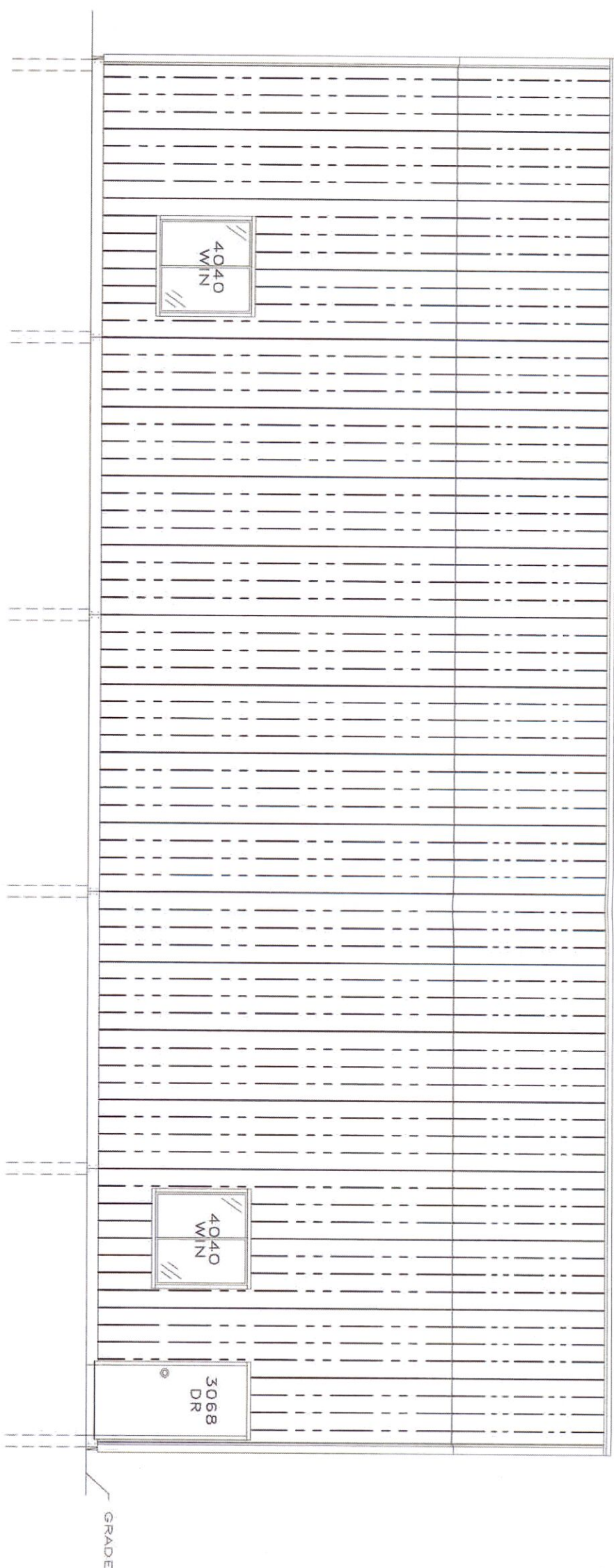
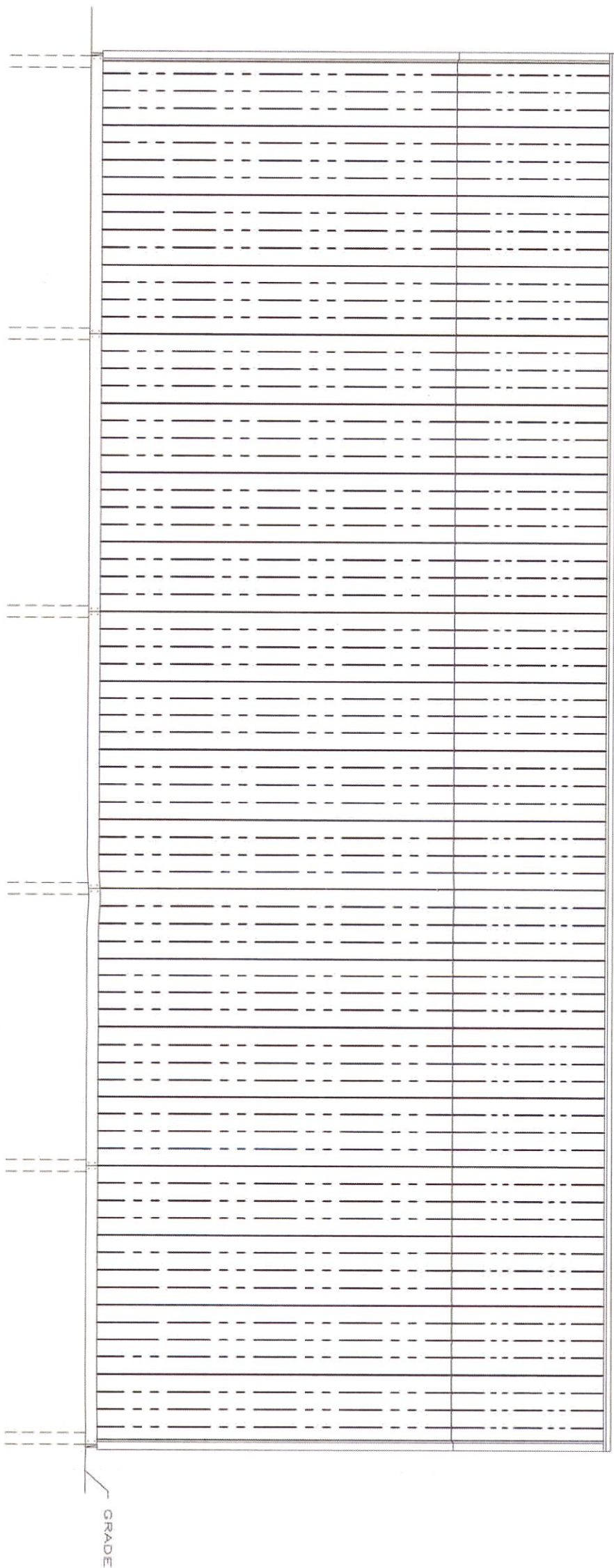




10-219  
SHT 6 of 7

<p><b>M &amp; W BUILDING SUPPLY</b> CUSTOM POLE BUILDINGS 40' WIDE x 60' LONG x 19' EAVE</p> <p>ROOF LOAD: LIVE 30 PSF DEAD LOAD: 3 PSF WIND LOAD: 130MPH EXP: C SEISMIC ZONE: D FOUNDATION PRESSURE: 1500 PSF LAT. SOIL BEARING: 100 PSF BUILDING DESIGN: 2018 I.B.C. CLOSED BUILDING</p>	<p><b>HOYLE CONST. FOR CURTIS &amp; SONS</b> 490 OLD HWY 395 N. RENO, NEVADA COUNTY: WASHOE</p> <p>ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE &amp; LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB &amp; HAIRPINS SHOWN FOR CONSTRAINTMENT ONLY. DESIGN MIX, THICKNESS, C.J.'s, &amp; REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT</p>	<p><b>M &amp; W BUILDING SUPPLY</b> &amp; 22175 S. HWY. 99E CANBY, OREGON 97013 (503) 263-6953 (503) 266-7102 (FAX)</p> <p>SCALE: NONE RDD/RD: 8/2/19 REV-1: 9/17/19 KIT: MW19173</p>	
--	---	---	--





**M & W BUILDING SUPPLY**  
 CUSTOM POLE BUILDINGS  
 40' WIDE x 60' LONG x 19' EAVE  
 ROOF LOAD: LIVE 30 PSF  
 DEAD LOAD: 3 PSF  
 WIND LOAD: 130MPH EXP: C  
 SEISMIC ZONE: D  
 FOUNDATION PRESSURE: 1500 PSF  
 LAT. SOIL BEARING: 100 PSF  
 BUILDING DESIGN: 2018 I.B.C.  
 CLOSED BUILDING

**HOYLE CONST. FOR CURTIS & SONS**  
 490 OLD HWY 395 N.  
 RENO, NEVADA

COUNTY: WASHOE

ENGINEERS DESIGN RESPONSIBILITIES ARE LIMITED EXCLUSIVELY TO THOSE DOCUMENTS BEARING HIS SEAL AND SIGNATURE. ANY ALTERATIONS TO THESE DOCUMENTS OR THE PHYSICAL STRUCTURE BY ANY PERSONS OR AGENCY SHALL VOID SAID DOCUMENTS AND RELIEVE ENGR OF DESIGN RESPONSIBILITY, AND MAY CREATE LIABILITY ISSUE FOR THEMSELVES DRAWINGS ARE FOR STRUCTURAL COMPLIANCE ONLY, THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN PREPARED FOR BUILDING USE, OCCUPANCY AND/OR FIRE & LIFE-SAFETY REQUIREMENTS OF LOCAL CODES OR AGENCIES. SLAB & HAIRPINS SHOWN FOR CONSTRAINMENT ONLY, DESIGN MIX, THICKNESS, C.J.'s, & REINFORCEMENT BY OTHERS. THIS STRUCTURE HAS NOT BEEN DESIGNED FOR USE WITH INTERIOR FINISH MATERIALS SUBJECT TO DAMAGE OR FAILURE DUE TO LATERAL MOVEMENT



**M & W BUILDING SUPPLY**  
 22175 S. HWY. 99E  
 CANBY, OREGON 97013  
 (503) 263-6953  
 (503) 266-7102 (FAX)

SCALE:	NONE
RDD/RD	8/2/19
REV-1	9/17/19
KIT	MW19173



10.2.19

# EXHIBIT H

Curtis and Sons Construction Inc.  
Special Use Permit Application

Grading Plan



# 470 Old US Highway 395 Washoe City, Nevada Grading Plan

## EROSION CONTROL NOTES

### Standard Notes:

- The Owner, Site Developer, Contractor and/or their authorized agents shall each day remove all sediment, mud, construction debris, or other potential pollutants that may have been discharged to, or accumulate in, the public rights of ways of Washoe County as a result of construction activities associated with this site development or construction project. Such materials shall be prevented from entering the storm sewer system.
- Additional construction site discharge best management practices (BMPs) may be required of the owner and his or her agents due to unforeseen erosion problems or if the submitted plan does not meet the performance standards required by Washoe County.
- Temporary or permanent stabilization practices shall be installed on disturbed areas as soon as practicable and no later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Some exceptions may apply; refer to Stormwater General Permit NVR 1000000, (§ III.A.5).
- At a minimum, the Contractor or his agent shall inspect all disturbed areas used for storage of materials and equipment that are exposed to precipitation, vehicle entrance and exit locations and all BMPs weekly, prior to a forecasted rain event and within 24 hours after any actual rain event. The Contractor or his agent shall update or modify the Stormwater Pollution Prevention Plan as necessary. Some exceptions to weekly inspections may apply, such as frozen ground conditions or suspension of land disturbance activities. Refer to Stormwater General Permit NVR 1000000, (§ III.A.11-12).
- Accumulated sediment in BMPs shall be removed within seven days after a stormwater runoff event or prior to the next anticipated storm event, whichever is earlier. Sediment must be removed when BMP design capacity has been reduced by 50 percent or more.

### Other:

- Contractor shall obtain a dust control permit, if required, before beginning any land disturbing activities. During the entire duration of this construction contract, the Contractor shall implement stringent dust control measures in accordance with The Truckee Meadows Construction Site BMP Handbook. The Contractor is required to suppress dust at all times, 24 hours a day, 7 days a week, regardless of when construction activities are occurring.
- The Contractor shall maintain all existing drainage facilities within the construction area until approved, permanent, drainage improvements are in place and functioning.
- No fences or other obstruction which interferes with drainage shall be constructed or allowed within a maintained drainage or storm drain easement.
- The Contractor shall incorporate adequate drainage procedures during the construction process to eliminate excess erosion and/or ponding.

## TEMPORARY STABILIZATION MEASURES

- Inactive construction areas will be stabilized with a non-toxic soil stabilizer, or reclaimed and re-vegetated if not scheduled for further construction activity and will not have an impervious surface applied. Prior to leaving areas that are susceptible to wind erosion, the Contractor may need to apply a dust suppressant that forms a crust on the soil surface. Temporary stabilization measures include, but are not limited to:
- Scattering of shrubs and other woody materials may be implemented on disturbed sites of less than 3:1 slopes to reduce the velocity of surface runoff, trap sediment, increase infiltration, and increase moisture retention.
  - In areas of highly erodible soils, utilize non-standard construction equipment and techniques that minimize surface disturbance, soil compaction, and loss of topsoil, such as low ground pressure equipment.
  - Re-establish vegetation cover in highly erodible areas as soon as possible following construction, but within the proper season so that seed is able to germinate.

## EROSION CONTROL MEASURES

Contractor shall:

- Read and follow all Erosion Control Notes listed on the project Title Sheet CSC-G-000.
- Install and maintain straw wattles, sandbags, silt fencing, and/or other erosion control devices at the edge of disturbed areas until re-vegetation success is met and the areas are stabilized.
- Schedule earth-disturbing activities to low runoff periods, whenever possible.
- Conduct concrete washout away from receiving waters (e.g. watercourses, wetlands, springs, wells, and storm drain inlets) to the extent possible.
- Confine all vehicular traffic associated with construction to the existing or new roadways.
- Limit disturbance of soils and vegetation removal to the minimum area necessary for safe access and construction.
- Train all construction personnel before they are allowed to begin working on the project of environmental concerns, permit laws and regulations, and the elements of this plan.
- Minimize grading to the extent feasible. Grading will be conducted in accordance with the respective grading permits received for this project.
- Where possible, slope and berm graded material to reduce surface water flows across the graded area.
- Replace excavated materials in disturbed areas and minimize the time between excavation and backfilling.
- If de-watering becomes necessary (not anticipated), direct accumulated water onto stable surfaces to avoid soil erosion and conduct all de-watering activities according to the project permits. Detention basins constructed of sediment barriers (e.g. straw bales, silt fence, etc.) or mobile storage tanks may be used where appropriate to dispose of groundwater or collected stormwater.
- Use drainage control structures, where necessary, to direct surface runoff away from disturbed areas and reduce erosion and off-site sedimentation. Such structures include culverts, ditches, waterbars, (berms and cross ditches), rolling dips, and sediment traps.

## EARTHWORK SUMMARY

Although volume calculations show a net fill volume of 13 cubic yards, the site was graded prior to the generation of these plans and existing terrain was estimated using public data. Stated quantities were calculated by comparing the as surveyed surface with the surface determined from the public data. Owner stated that there was approximately 10 tons (approx. 10 cu. yd.) of base material used to achieve the elevations in the as surveyed surface. The calculation includes no volume adjustments to account for swell, shrinkage, or unsuitable material and makes no provisions for stripping or subexcavation. For these reasons, the volume of dirt moved in the field will in all likelihood deviate to some extent from the calculated volume.

LOCATION	DISTURBED AREA (Acres)	GRADING CUT VOLUME (Cu. Yds)	GRADING FILL VOLUME (Cu. Yds)	NET VOLUME (Cu. Yds Fill)
470 OLD U.S. HIGHWAY 395	1.6	1138.0	1151.0	13.0

LOCATION MAP  
SCALE: 1" = 500'



## GENERAL NOTES

- All construction and materials shall conform to the Standard Specifications for Public Works Construction, latest edition, and the latest version of the Standard Details for Public Works Construction adopted by Washoe County.
- It shall be the sole responsibility of the Contractor to obtain all necessary permits from all applicable agencies and to pay all applicable permit fees.
- Details not shown on these drawings shall be as contained in the Book of Standard Details for Public Works Construction adopted by Washoe County.
- Should it appear that the work to be done, or any matter relative thereto, is not sufficiently detailed or explained on these plans the Contractor shall contact the Project Engineer for such further explanations as may be necessary.
- The Contractor will be solely and completely responsible for the conditions of the job site, including safety of all persons and property during performance of the work. This requirement will comply continuously and shall not be limited to normal working hours. The Contractor shall be responsible for the design and construction of proper shoring of trenches in accordance with occupational safety laws.
- The location of existing utilities shown on these drawings is based on the best information available to the Engineer. It shall be the Contractor's responsibility to verify these locations at the proposed points of connection and in areas of possible conflict with new utility installation, prior to beginning construction. Should the Contractor find any discrepancies between the conditions existing in the field and the information shown on these drawings, he shall notify the Project Engineer before proceeding with construction.
- The Contractor shall call 1-800-227-2600 for utility locations at least 48 hours prior to construction.
- A pre-construction conference shall be held with Washoe County prior to any construction if requested.
- Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts, shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.
- The Contractor shall be responsible for any damage to existing roads, buildings, or other structures or existing landscaping resulting from his construction activities. Repairs shall be made to the satisfaction of the applicable jurisdiction and the Owner at no cost to the Owner.
- The intent of the plans and specifications is to describe a complete, in place, facility. Payment for work shown on these plans either specified or inferred, but not included in the bid proposal shall be considered as included in the price paid for other items of work.

## SHEET LIST / INDEX OF SHEETS

- CSC-G-000-01 - COVER SHEET / GENERAL NOTES
- CSC-G-000-02 - AS-BUILT GRADING PLAN
- CSC-G-000-03 - FINAL BUILD-OUT GRADING PLAN

REV	DATE	DESCRIPTION	BY	CHKD	APPRD
A	11/13/19	GRADING PLAN	JDC		

WASHOE COUNTY  
470 OLD U.S. HIGHWAY 395, WASHOE CITY  
GRADING PLAN  
CURTIS AND SONS CONSTRUCTION INC.  
WASHOE CITY, NEVADA

**TRISAGE CONSULTING**  
5419A Longley Lane  
Reno, NV 89511  
(775) 336-1300

**CURTIS & SONS CONSTRUCTION INC.**

CSC-G-000  
SHEET 1 OF 3  
REVISION: A



NATURAL GRADE

470 OLD U.S. HIGHWAY 395, WASHOE CITY  
CURTIS AND SONS CONSTRUCTION INC.

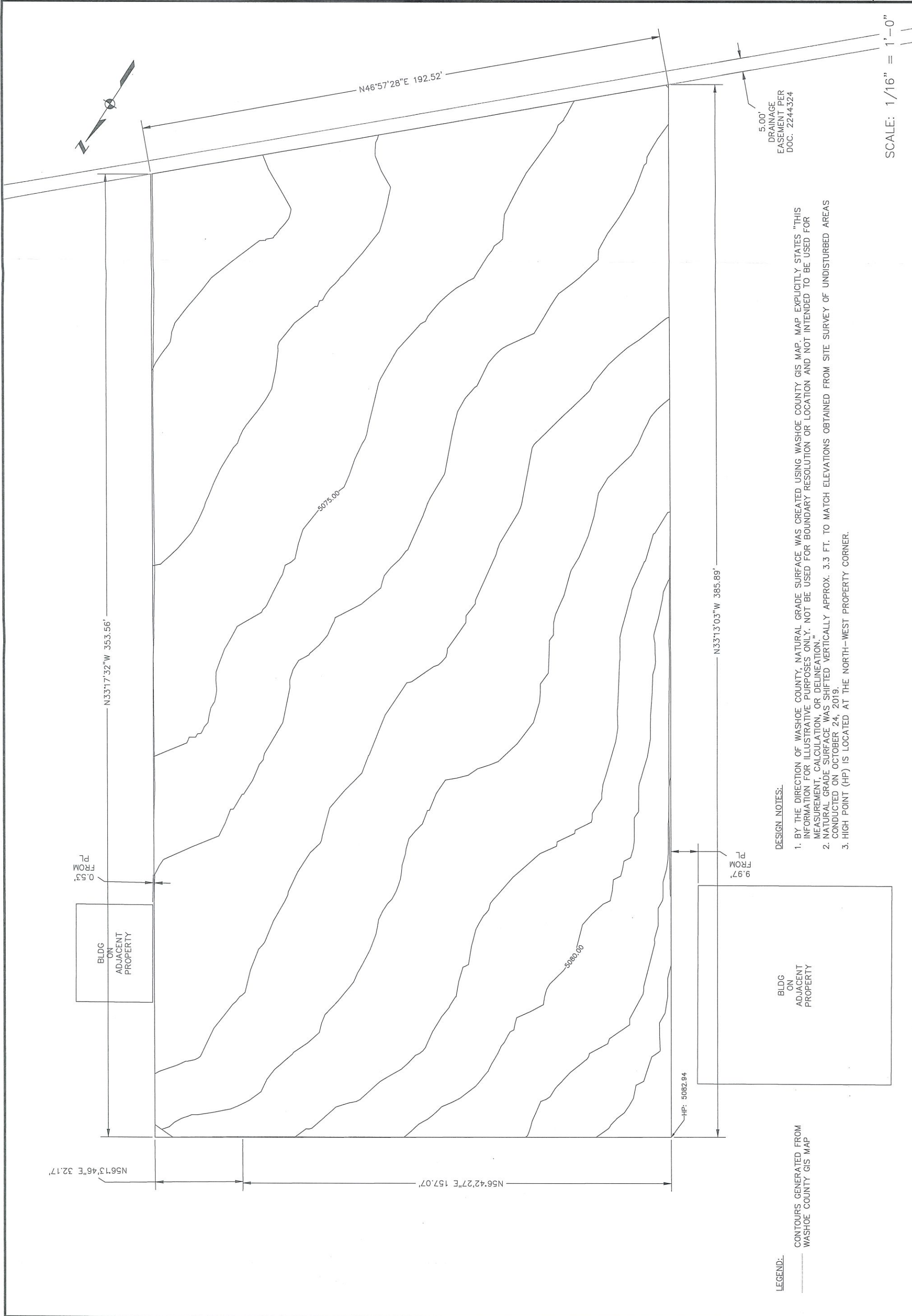
WASHOE CITY, NEVADA

Rev.	Date	Description	By	CHK'd	App'd.
A	11/13/19	GRADING PLAN	JDC	-	-
B	12/10/19	RE-ISSUE PER COUNTY COMMENTS	JDC	KLD	KLD
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-

**CURTIS & SONS CONSTRUCTION INC.**

5418A Longley Lane  
Reno, NV 89511  
(775) 336-1300

CONSULTING  
**TRISAGE**



**DESIGN NOTES:**

1. BY THE DIRECTION OF WASHOE COUNTY, NATURAL GRADE SURFACE WAS CREATED USING WASHOE COUNTY GIS MAP. MAP EXPLICITLY STATES "THIS INFORMATION FOR ILLUSTRATIVE PURPOSES ONLY. NOT BE USED FOR BOUNDARY RESOLUTION OR LOCATION AND NOT INTENDED TO BE USED FOR MEASUREMENT, CALCULATION, OR DELINEATION."
2. NATURAL GRADE SURFACE WAS SHIFTED VERTICALLY APPROX. 3.3 FT. TO MATCH ELEVATIONS OBTAINED FROM SITE SURVEY OF UNDISTURBED AREAS CONDUCTED ON OCTOBER 24, 2019.
3. HIGH POINT (HP) IS LOCATED AT THE NORTH-WEST PROPERTY CORNER.

**LEGEND:**

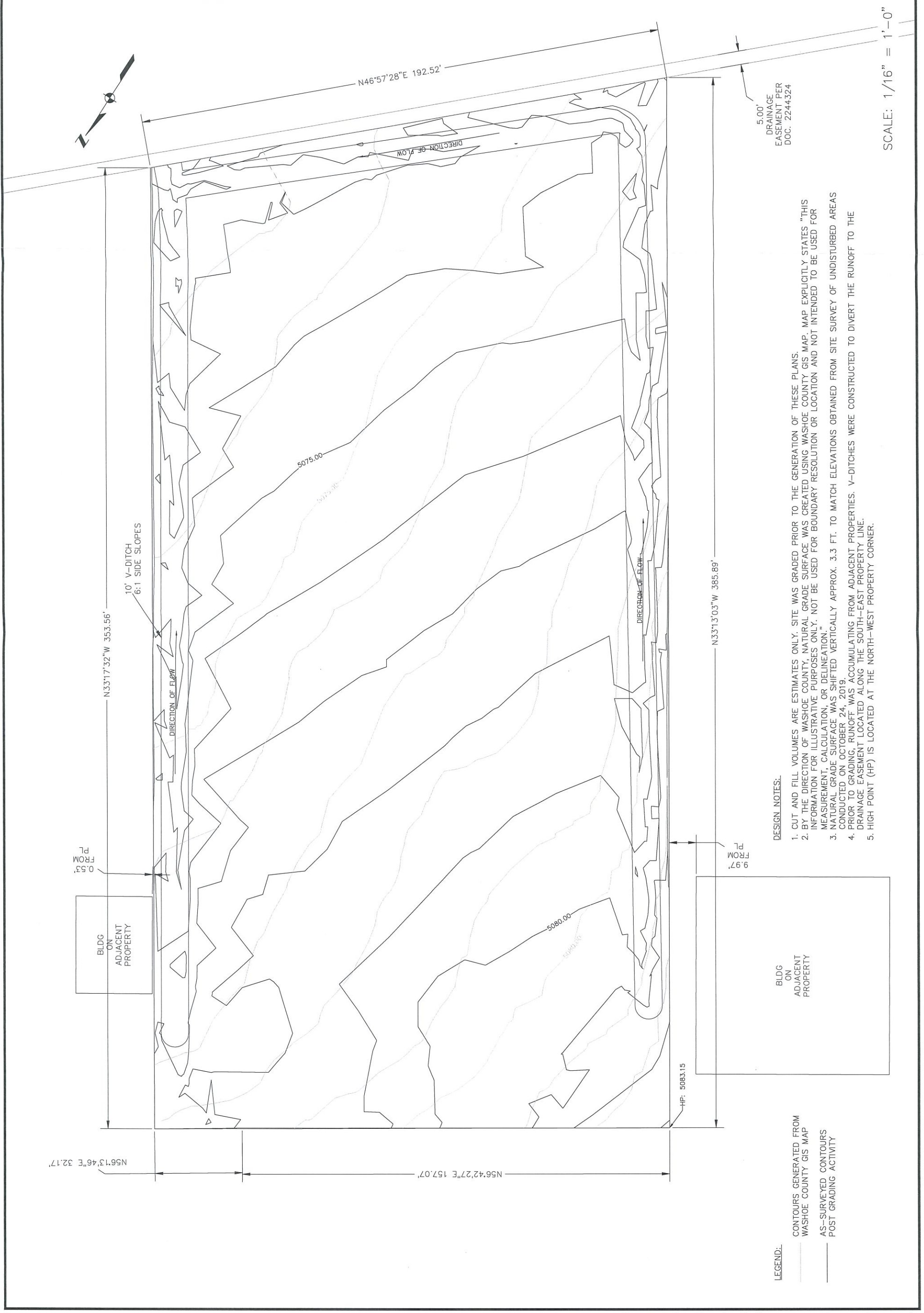
CONTOURS GENERATED FROM WASHOE COUNTY GIS MAP

SCALE: 1/16" = 1'-0"

REV.	DATE	DESCRIPTION	BY	CHK'D	APPR'D.
A	11/13/19	GRADING PLAN	JDC	-	-
B	12/10/19	RE-ISSUE PER COUNTY COMMENTS	JDC	KLD	KLD
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-

**CURTIS & SONS CONSTRUCTION INC.**  
5418A Longley Lane  
Reno, NV 89511  
(775) 336-1300

**TRISAGE CONSULTING**



**DESIGN NOTES:**

- CUT AND FILL VOLUMES ARE ESTIMATES ONLY. SITE WAS GRADED PRIOR TO THE GENERATION OF THESE PLANS.
- BY THE DIRECTION OF WASHOE COUNTY, NATURAL GRADE SURFACE WAS CREATED USING WASHOE COUNTY GIS MAP. MAP EXPLICITLY STATES "THIS INFORMATION FOR ILLUSTRATIVE PURPOSES ONLY. NOT BE USED FOR BOUNDARY RESOLUTION OR LOCATION AND NOT INTENDED TO BE USED FOR MEASUREMENT, CALCULATION, OR DELINEATION."
- NATURAL GRADE SURFACE WAS SHIFTED VERTICALLY APPROX. 3.3 FT. TO MATCH ELEVATIONS OBTAINED FROM SITE SURVEY OF UNDISTURBED AREAS CONDUCTED ON OCTOBER 24, 2019.
- PRIOR TO GRADING, RUNOFF WAS ACCUMULATING FROM ADJACENT PROPERTIES. V-DITCHES WERE CONSTRUCTED TO DIVERT THE RUNOFF TO THE DRAINAGE EASEMENT LOCATED ALONG THE SOUTH-EAST PROPERTY LINE.
- HIGH POINT (HP) IS LOCATED AT THE NORTH-WEST PROPERTY CORNER.

**LEGEND:**

- CONTOURS GENERATED FROM WASHOE COUNTY GIS MAP
- AS-SURVEYED CONTOURS
- POST GRADING ACTIVITY

SCALE: 1/16" = 1'-0"

5.00'  
DRAINAGE  
EASEMENT PER  
DOC. 2244324

0.53'  
FROM  
PL

BLDG  
ON  
ADJACENT  
PROPERTY

10' V-DITCH  
6:1 SIDE SLOPES

DIRECTION OF FLOW

5075.00

5072.30

DIRECTION OF FLOW

9.97'  
FROM  
PL

BLDG  
ON  
ADJACENT  
PROPERTY

HP: 5083.15

N33°13'03"W 385.89'

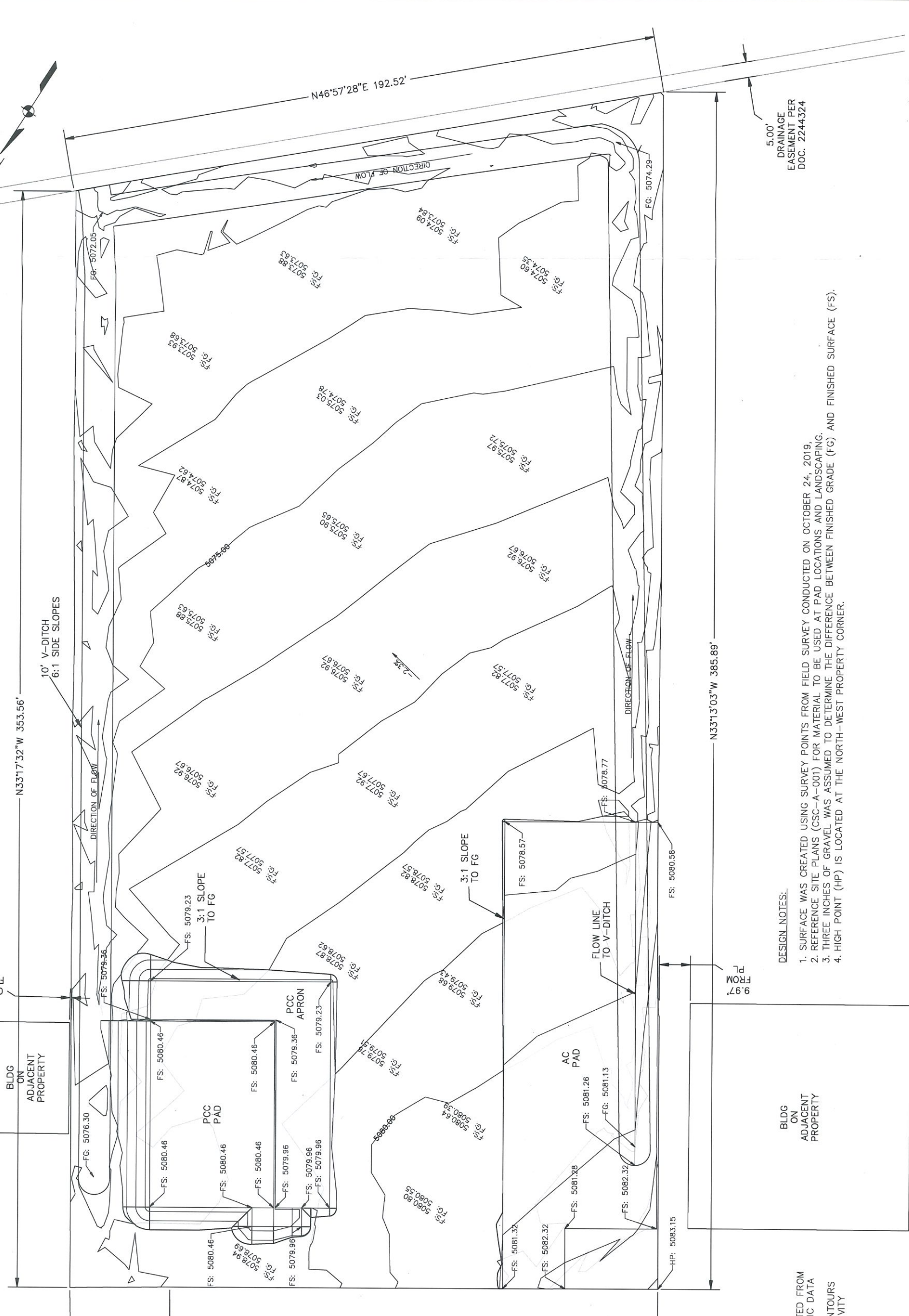
N56°42'27"E 157.07'

N56°13'46"E 32.17'

N46°57'28"E 192.52'



REV.	DATE	DESCRIPTION	BY	CHKD	APPD.
A	11/3/19	GRADING PLAN	JDC		



**DESIGN NOTES:**

1. SURFACE WAS CREATED USING SURVEY POINTS FROM FIELD SURVEY CONDUCTED ON OCTOBER 24, 2019.
2. REFERENCE SITE PLANS (CSC-A-001) FOR MATERIAL TO BE USED AT PAD LOCATIONS AND LANDSCAPING.
3. THREE INCHES OF GRAVEL WAS ASSUMED TO DETERMINE THE DIFFERENCE BETWEEN FINISHED GRADE (FG) AND FINISHED SURFACE (FS).
4. HIGH POINT (HP) IS LOCATED AT THE NORTH-WEST PROPERTY CORNER.

**LEGEND:**

- CONTOURS GENERATED FROM PUBLIC TOPOGRAPHIC DATA
- AS-SURVEYED COUNTOURS
- POST GRADING ACTIVITY

SCALE: 1/16" = 1'-0"

5.00'  
DRAINAGE  
EASEMENT PER  
DOC. 2244324



N56°13'46"E 32.17'

N56°42'27"E 157.07'

N33°17'32"W 353.56'

N33°17'03"W 385.89'

BLDG ON ADJACENT PROPERTY

0.53' FROM PL

BLDG ON ADJACENT PROPERTY

9.97' FROM PL